

SOURCE: USGS QUADRANGLE MAP 7.5 SERIES, PROVIDENCE, RI, DATED 2024

**KEY MAP**

SCALE: 1" = 2000'±

# MINOR LAND DEVELOPMENT PLAN FOR 297 DEXTER STREET HOLDING, LLC PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT

A.P. 31 | LOTS 125, 523, 524 & 525  
309 DEXTER STREET, CITY OF PROVIDENCE  
PROVIDENCE COUNTY, RHODE ISLAND  
OFFSITE PARKING: A.P. 31 | LOT 546

**APPLICANT / OWNER**

297 DEXTER STREET HOLDINGS, LLC  
1 WATERMAN STREET, SUITE 205  
NORTH PROVIDENCE, RI 02911  
(508) 450-4099

**ATTORNEY**

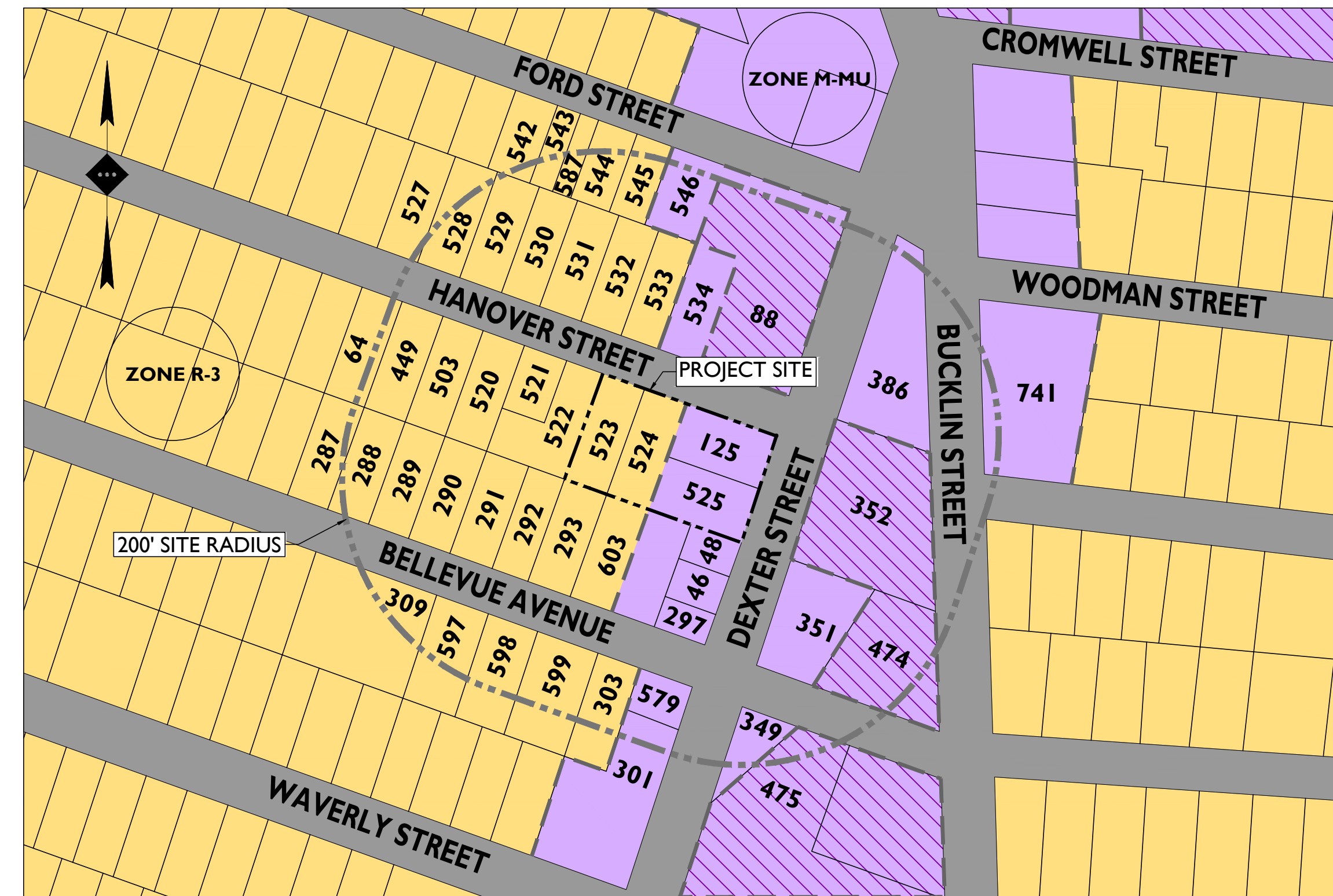
AP&S P.C.  
100 WESTMINSTER, 16TH FLOOR  
PROVIDENCE, RI 02903  
(401) 274-7200  
JARCE@APSLAW.COM



SOURCE: NEARMAP AERIAL, DATED SEPTEMBER 28, 2025

**AERIAL MAP**

SCALE: 1" = 100'±



SOURCE: CITY OF PROVIDENCE ARCGIS MAPPING, RETRIEVED NOVEMBER 7, 2025

**ZONING MAP**

SCALE: 1" = 100'±

**ZONING LEGEND**

- R-3 RESIDENTIAL DISTRICT
- M-MU MIXED USE INDUSTRIAL DISTRICT
- HISTORIC DISTRICT

PLANS PREPARED BY:



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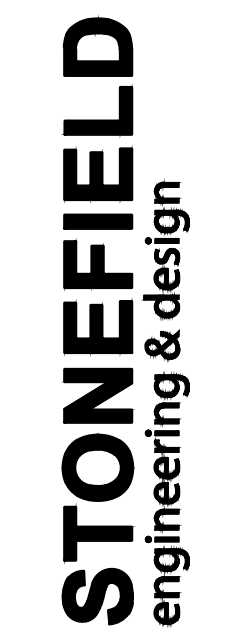
**PLAN REFERENCE MATERIALS:**

1. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
  - BASE MAPPING SURVEY, PREPARED BY OCEAN STATE PLANNERS, INC. DATED SEPTEMBER 2025
  - ARCHITECTURAL PLANS, PREPARED BY ZDS, INC. DATED MARCH 2025
  - GEOTECHNICAL REPORT
  - NEARMAP AERIAL IMAGE, DATED SEPTEMBER 28, 2025
  - LOCATION MAP
2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

**SHEET INDEX**

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
OVERALL SITE PLAN	C-5
GRADING & DRAINAGE PLAN	C-6
UTILITY PLAN	C-7
LIGHTING PLAN	C-8
SOIL EROSION & SEDIMENT CONTROL PLAN	C-9 & C-10
LANDSCAPE PLAN	C-11 - C-13
CONSTRUCTION DETAILS	C-14 - C-18

NOT APPROVED FOR CONSTRUCTION



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MINOR LAND DEVELOPMENT PLAN  
297 DEXTER STREET HOLDINGS, LLC

PROPOSED MULTI-FAMILY  
RESIDENTIAL DEVELOPMENT

A.P. 31 | LOTS 125, 523, 524 & 525  
RECORD LOTS 465, 471, 486, 49  
309 DEXTER STREET  
CITY OF PROVIDENCE  
PROVIDENCE COUNTY, RHODE ISLAND

JOSHUA H. KLINE, P.E.  
RHODE ISLAND LICENSE No. 13607  
LICENSED PROFESSIONAL ENGINEER



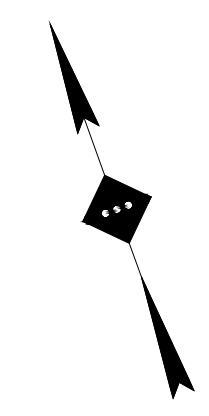
SCALE: AS SHOWN PROJECT ID: BOS-250101

TITLE:

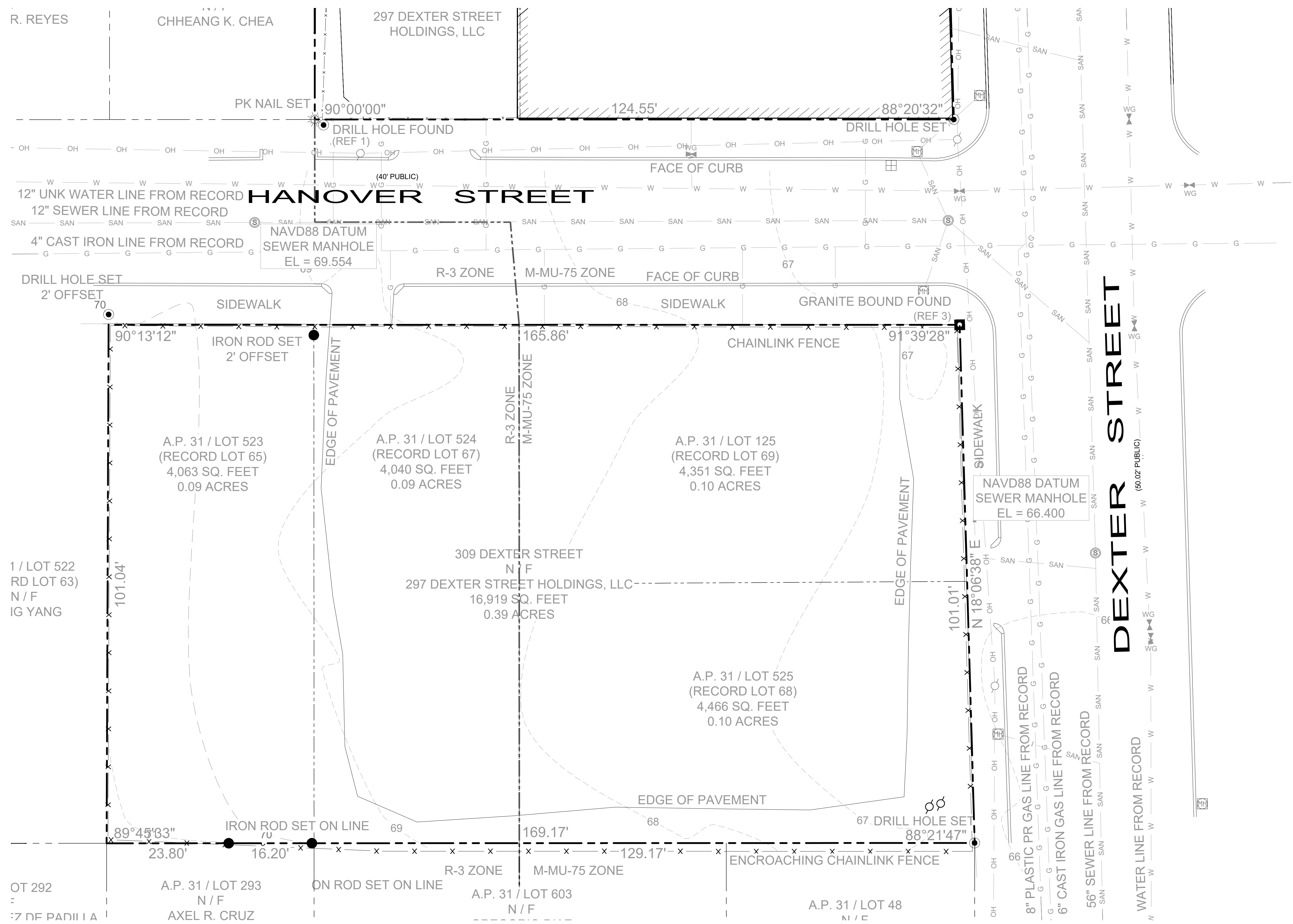
COVER SHEET

DRAWING:

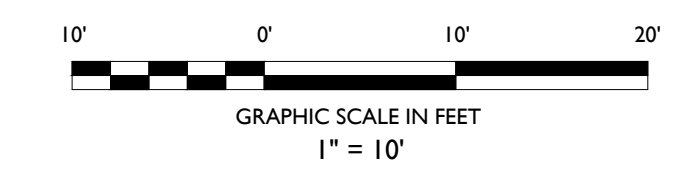
C-1



SYMBOL	DESCRIPTION
AP	ASSESSOR'S PLAT
●	IRON ROD
○	DRILL HOLE
☼	GIN SPIKE / MAG NAIL
■	GRANITE BOUND
⊕	DRAINAGE MANHOLE / UNKNOWN
⊞	CATCH BASIN
⊞	GAS GATE
⊞	WATER GATE
⊞	SEWER MANHOLE
⊞	UTILITY POLE
⊞	CATCH BASIN WITH CURB INLET
— SAN —	SEWER PIPE LINE
— G —	GAS PIPE LINE
— W —	WATER PIPE LINE
— OH —	OVER HEAD POWER LINE
---	ZONING BOUNDARY
---	PROPERTY LINE
---	INTERNAL LOT LINE



**SURVEY NOTES:**  
 1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



NO.	DATE	ISSUE	DESCRIPTION
1	02/04/2026	SCL	FOR MINOR LAND DEVELOPMENT SUBMISSION

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**MINOR LAND DEVELOPMENT PLAN**

**297 DEXTER STREET HOLDINGS, LLC**

**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

A.P. 31, LOTS 125, 523, 524, & 525  
 RECORD LOTS 65, 67, 68, 69  
 309 DEXTER STREET  
 CITY OF PROVIDENCE  
 PROVIDENCE COUNTY, RHODE ISLAND

JOSHUA H. KLINE, P.E.  
 RHODE ISLAND LICENSE No. 13607  
 LICENSED PROFESSIONAL ENGINEER

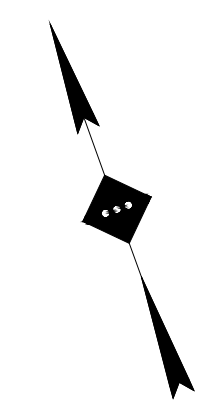
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SCALE: 1" = 10' PROJECT ID: BOS-250101

TITLE:  
**EXISTING CONDITIONS PLAN**

DRAWING:  
**C-2**

24/07/2025 09:52:52 AM 2501 - 297 DEXTER STREET, PROVIDENCE, RHODE ISLAND, CITY OF PROVIDENCE



SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	LIMIT OF DISTURBANCE
---	FEATURE TO BE REMOVED / DEMOLISHED

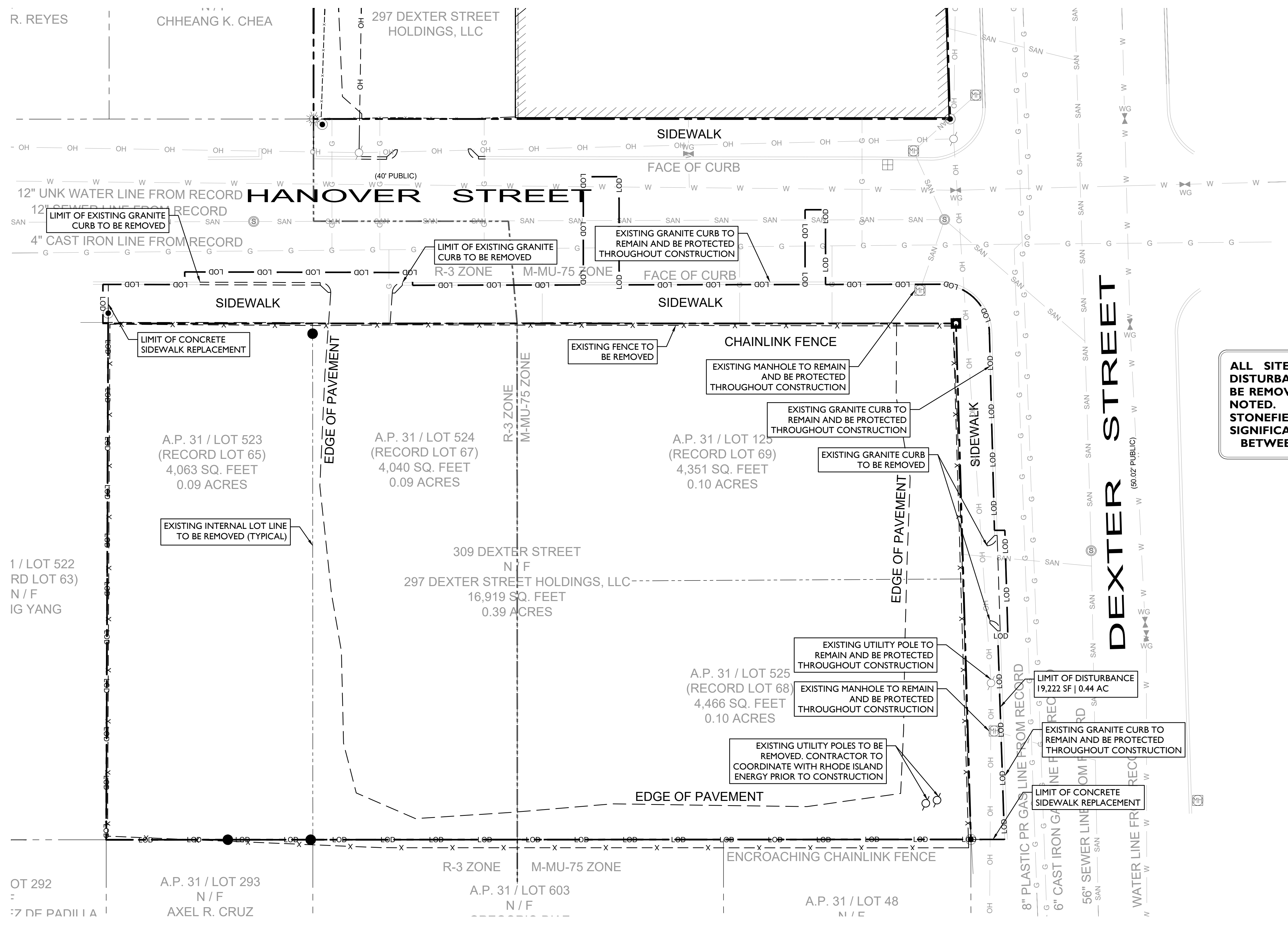
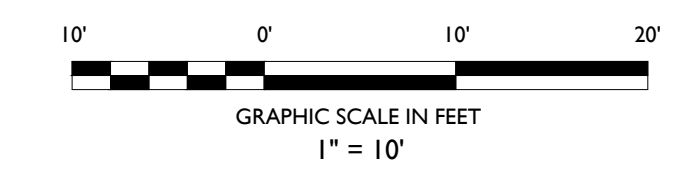


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ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS

**DEMOLITION NOTES**

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



FOR MINOR LAND DEVELOPMENT SUBMISSION	DATE	BY	DESCRIPTION
I	02/04/2026	SCL	

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MINOR LAND DEVELOPMENT PLAN

**297 DEXTER STREET HOLDINGS, LLC**

**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

A.P. 31, LOTS 125, 523, 524 & 525  
RECORD LOTS 65, 67, 68, 69  
309 DEXTER STREET  
CITY OF PROVIDENCE  
PROVIDENCE COUNTY, RHODE ISLAND

JOSHUA H. KLINE, P.E.  
RHODE ISLAND LICENSE No. 13607  
LICENSED PROFESSIONAL ENGINEER

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SCALE: 1" = 10' PROJECT ID: BOS-250101

TITLE:  
**DEMOLITION PLAN**

DRAWING:

**C-3**

24/07/2025 09:52:28 AM 250 - 297 DEXTER STREET, PROVIDENCE, RI 02903, 2025.02.04, 10:00 AM, 10:00 AM, 10:00 AM

LAND USE AND ZONING			
309 DEXTER STREET			
A.P. 31   LOTS 125, 523, 524 & 525			
M-MU-75 MIXED-USE INDUSTRIAL DISTRICT			
PROPOSED USE		PERMITTED USE	
ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	0 SF	8,816 SF (0.20 AC) (*)	NO CHANGE
MAXIMUM BUILDING HEIGHT	75 FT	-	56.3 FT
MINIMUM FRONT YARD SETBACK	0 FT	-	0 FT
MINIMUM INTERIOR SIDE YARD SETBACK	10 FT	-	102.9 FT
MINIMUM CORNER SIDE YARD SETBACK	0 FT	-	0 FT
MINIMUM REAR YARD SETBACK	0 FT	-	3.8 FT
MAXIMUM LOT WIDTH	NOT SPECIFIED	101.0 FT	NO CHANGE
MAXIMUM IMPERVIOUS COVERAGE	NOT SPECIFIED	80.7% (7,117 SF) (*)	87.3% (7,696 SF) (*)

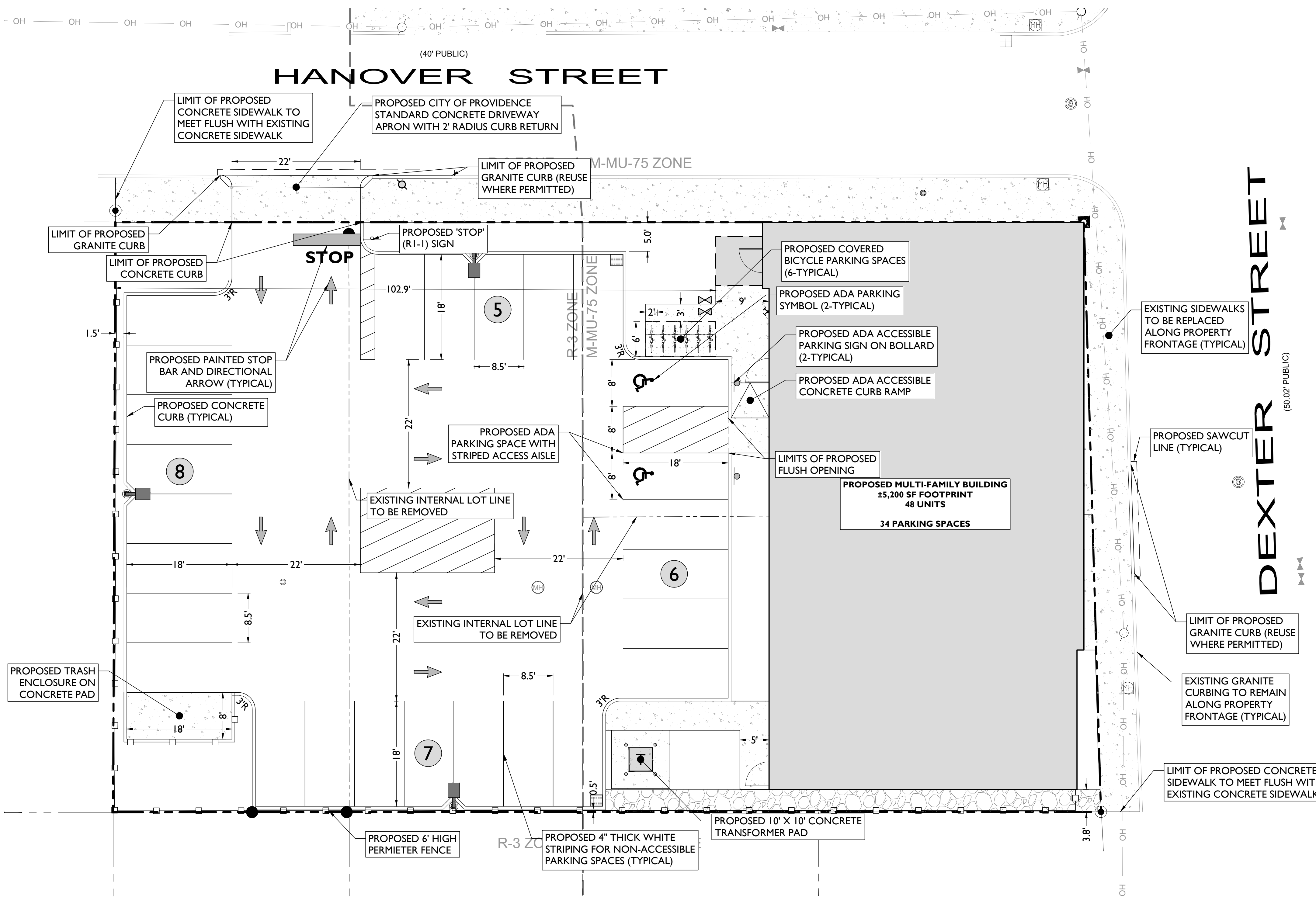
  

R-3 RESIDENTIAL DISTRICT			
PROPOSED USE		PERMITTED USE	
ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	3,500 SF	8,103 SF (0.19 AC) (*)	NO CHANGE
MAXIMUM IMPERVIOUS SURFACE COVERAGE - REAR YARD	33%	42.5% (3,441 SF) (*)	88.6% (7,183 SF) (V) (*)
TOTAL MAXIMUM IMPERVIOUS SURFACE COVERAGE	65%	42.5% (3,441 SF) (*)	88.6% (7,183 SF) (V) (*)

(\*) VARIANCE  
 (\*) VALUE NOTED INDICATES THE AREA OF THE SITE THAT IS WITHIN THE RESPECTIVE ZONE. TOTAL SITE AREA IS 16,919 SF, TOTAL EXISTING IMPERVIOUS COVERAGE IS 42.4%, AND TOTAL PROPOSED IMPERVIOUS COVERAGE IS 87.9%

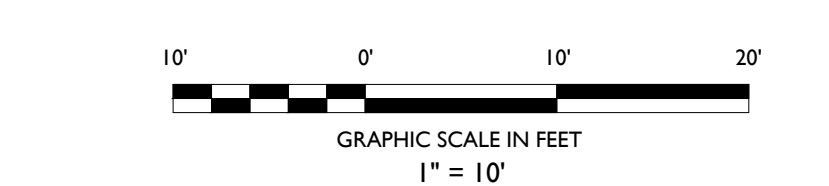
OFF-STREET PARKING & LOADING REQUIREMENTS		
309 DEXTER STREET		
CODE SECTION	REQUIRED	PROPOSED
TABLE 14-1	MINIMUM REQUIRED PARKING SPACES MULTI-FAMILY DWELLING: 1 SPACE / DWELLING 48 DWELLINGS = 48 PARKING SPACES	LOT 546: 8 SPACES LOTS 523 & 524: 26 SPACES <b>TOTAL: 34 SPACES (DA)</b>
TABLE 14-1	MINIMUM REQUIRED BICYCLE PARKING: 1 SPACE / 5 DWELLINGS 80% TO BE LONG TERM SPACES	COMPLIES (*)
FIGURE 14-1	STANDARD PARKING DIMENSIONS: 8.5 FT X 18 FT	8.5 FT X 18 FT
§ 1405 B.1.	MINIMUM AISLE WIDTH: 22 FT	22 FT
§ 1405 B.2.	BICYCLE PARKING DIMENSIONS: 2 FT X 6 FT	COMPLIES (*)
§ 1407 A.2.	LONG-TERM BICYCLE PARKING SHALL BE LOCATED INDOORS OR FULLY COVERED	COMPLIES (*)
§ 1407 B.3.	MAXIMUM TWO-WAY DRIVEWAY WIDTH: 24 FT	22 FT
§ 1504 A.	MAXIMUM 1 CURB CUT PER FRONTAGE RIGHT-OF-WAY LANDSCAPE BUFFER: 5 FT	COMPLIES 5 FT

(DA) DIMENSIONAL ADJUSTMENT UNDER SECTION 1904  
 (\*) SEE ARCHITECTURAL PLANS FOR SPECIFICATIONS



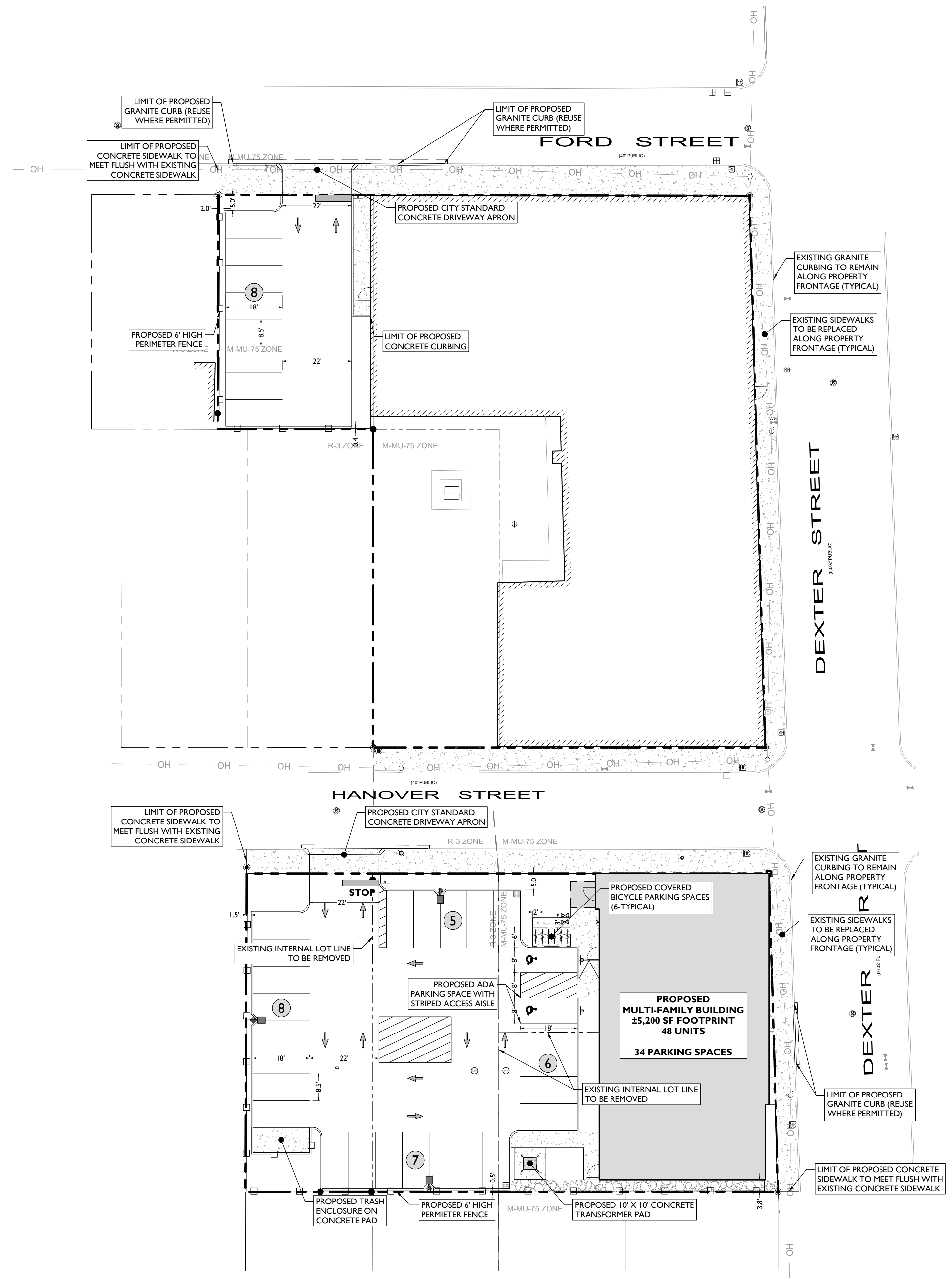
SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - - -	ZONING DISTRICT BOUNDARY
---	PROPOSED CURB
---	PROPOSED FLUSH OPENING
█	PROPOSED BUILDING
▭	PROPOSED CONCRETE
□	PROPOSED PERIMETER FENCE
+	PROPOSED SIGNS
⌋	PROPOSED BUILDING DOORS

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
  - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
  - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
  - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
  - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
  - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
  - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
  - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
  - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



FOR MINOR LAND DEVELOPMENT SUBMISSION	
DATE	BY
02/04/2026	SCL
ISSUE	1
<b>NOT APPROVED FOR CONSTRUCTION</b>	
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<b>MINOR LAND DEVELOPMENT PLAN</b> <b>297 DEXTER STREET HOLDINGS, LLC</b> <b>PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT</b>	
A.P. 31   LOTS 125, 523, 524 & 525 RECORD LOTS 665, 67, 68, 69 309 DEXTER STREET CITY OF PROVIDENCE PROVIDENCE COUNTY, RHODE ISLAND	
JOSHUA H. KLINE, P.E. RHODE ISLAND LICENSE No. 13607 LICENSED PROFESSIONAL ENGINEER	
SCALE:	1" = 10' PROJECT ID: BOS-25101
<b>SITE PLAN</b>	
DRAWING:	
<b>C-4</b>	

24/07/2024 09:52:00 AM 255 - 297 DEXTER STREET, PROVIDENCE, RHODE ISLAND 02903



### LAND USE AND ZONING

309 DEXTER STREET  
A.P. 31 | LOTS 125, 523, 524 & 525  
M-MU-75 MIXED-USE INDUSTRIAL DISTRICT

PROPOSED USE	PERMITTED USE	REQUIRED	EXISTING	PROPOSED
MULTI-FAMILY DWELLING				
MINIMUM LOT AREA	0 SF	8,816 SF (0.20 AC) (*)		NO CHANGE
MAXIMUM BUILDING HEIGHT	75 FT			56.3 FT
MINIMUM FRONT YARD SETBACK	0 FT			0 FT
MINIMUM INTERIOR SIDE YARD SETBACK	10 FT			102.9 FT
MINIMUM CORNER SIDE YARD SETBACK	0 FT			0 FT
MINIMUM REAR YARD SETBACK	0 FT			3.8 FT
MAXIMUM LOT WIDTH	NOT SPECIFIED	101.0 FT		NO CHANGE
MAXIMUM IMPERVIOUS COVERAGE	NOT SPECIFIED	80.7% (7,117 SF) (*)		87.3% (7,696 SF) (*)

PROPOSED USE	PERMITTED USE	REQUIRED	EXISTING	PROPOSED
ACCESSORY PARKING LOT				
MINIMUM LOT AREA	3,500 SF	8,103 SF (0.19 AC) (*)		NO CHANGE
MAXIMUM IMPERVIOUS SURFACE COVERAGE - REAR YARD	33%	42.5% (3,441 SF) (*)		88.6% (7,183 SF) (V) (*)
TOTAL MAXIMUM IMPERVIOUS SURFACE COVERAGE	65%	42.5% (3,441 SF) (*)		88.6% (7,183 SF) (V) (*)

(V) VARIANCE  
(\*) VALUE NOTED INDICATES THE AREA OF THE SITE THAT IS WITHIN THE RESPECTIVE ZONE. TOTAL SITE AREA IS 16,919 SF. TOTAL EXISTING IMPERVIOUS COVERAGE IS 62.4%, AND TOTAL PROPOSED IMPERVIOUS COVERAGE IS 87.9%

### OFF-STREET PARKING & LOADING REQUIREMENTS

309 DEXTER STREET

CODE SECTION	REQUIRED	PROPOSED
TABLE 14-1	MINIMUM REQUIRED PARKING SPACES MULTI-FAMILY DWELLING: 1 SPACE / DWELLING 48 DWELLINGS = 48 PARKING SPACES	LOT 546: 8 SPACES LOTS 523 & 524: 26 SPACES <b>TOTAL: 34 SPACES (DA)</b>
TABLE 14-1	MINIMUM REQUIRED BICYCLE PARKING: 1 SPACE / 5 DWELLINGS 80% TO BE LONG TERM SPACES 48 DWELLINGS = 8 LONG TERM SPACES 10 SPACES TOTAL	COMPLIES (*)
FIGURE 14-1	STANDARD PARKING DIMENSIONS: 8.5 FT X 18 FT	8.5 FT X 18 FT
§ 1405 B.1.	MINIMUM AISLE WIDTH: 22 FT	22 FT
§ 1405 B.2.	BICYCLE PARKING DIMENSIONS: 2 FT X 6 FT	COMPLIES (*)
§ 1405 B.2.	LONG-TERM BICYCLE PARKING SHALL BE LOCATED INDOORS OR FULLY COVERED	COMPLIES (*)
§ 1407 A.2.	MAXIMUM TWO-WAY DRIVEWAY WIDTH: 24 FT	22 FT
§ 1407 B.3.	MAXIMUM 1 CURB CUT PER FRONTAGE	COMPLIES
§ 1504 A.	RIGHT-OF-WAY LANDSCAPE BUFFER: 5 FT	5 FT

(DA) DIMENSIONAL ADJUSTMENT UNDER SECTION 1904  
(\*) SEE ARCHITECTURAL PLANS FOR SPECIFICATIONS

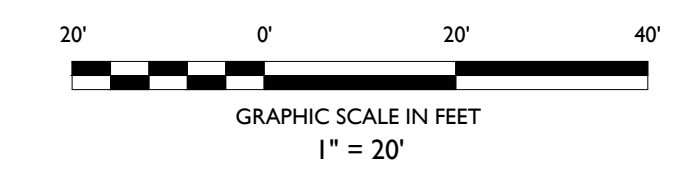
### OFFSITE PARKING & LOADING REQUIREMENTS

A.P. 31 LOT 546

CODE SECTION	REQUIRED	PROPOSED
FIGURE 14-1	STANDARD PARKING DIMENSIONS: 8.5 FT X 18 FT	8.5 FT X 18 FT
	MINIMUM TWO-WAY AISLE WIDTH: 22 FT	22 FT
§ 1407 A.2.	MAXIMUM TWO-WAY DRIVEWAY WIDTH: 24 FT	22 FT
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§ 1504 A.	RIGHT-OF-WAY LANDSCAPE BUFFER: 5 FT	5.0 FT

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - - -	ZONING DISTRICT BOUNDARY
---	PROPOSED CURB
---	PROPOSED FLUSH OPENING
█	PROPOSED BUILDING
▣	PROPOSED CONCRETE
□	PROPOSED PERIMETER FENCE
+	PROPOSED SIGNS
⌋	PROPOSED BUILDING DOORS

- #### GENERAL NOTES
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
  - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
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  - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
  - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
  - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
  - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
  - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROMPT REPAIR OF STREET OPENING PERMITS.
  - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
  - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



DATE	ISSUE	BY	DESCRIPTION
02/04/2026	SCL		FOR MINOR LAND DEVELOPMENT SUBMISSION

**NOT APPROVED FOR CONSTRUCTION**

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Phone 617.203.2076

**MINOR LAND DEVELOPMENT PLAN**

**297 DEXTER STREET HOLDINGS, LLC**

**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

A.P. 31 | LOTS 125, 523, 524 & 525  
RECORD LOTS 465, 471, 486, 49  
309 DEXTER STREET  
CITY OF PROVIDENCE  
PROVIDENCE COUNTY, RHODE ISLAND

JOSHUA H. KLINE, P.E.  
RHODE ISLAND LICENSE No. 13607  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 20' PROJECT ID: BOS-250101

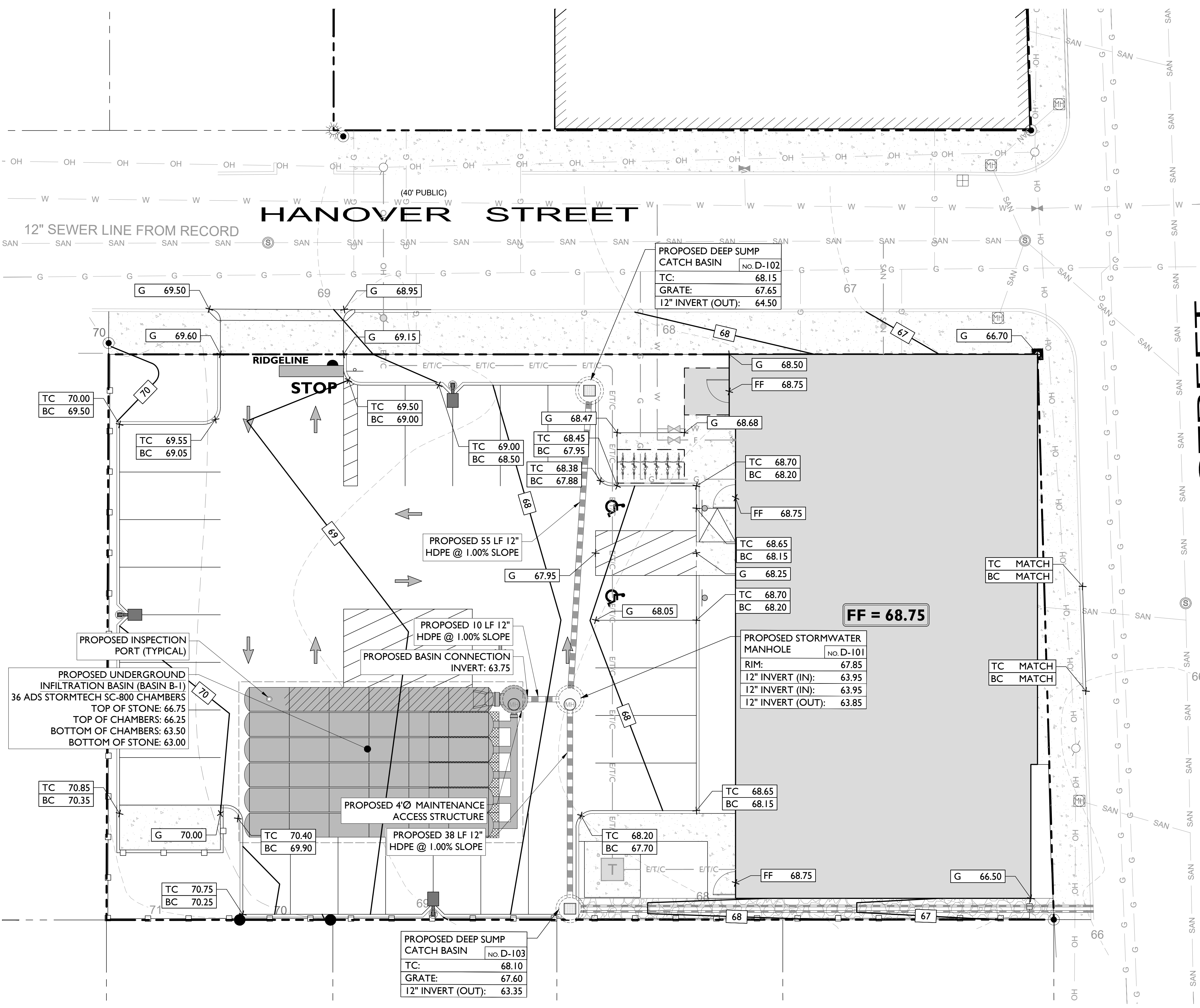
TITLE:  
**OVERALL SITE PLAN**

DRAWING:  
**C-5**

**EXCAVATION & UTILITY VERIFICATION NOTE:**  
 PRIOR TO THE START OF CONSTRUCTION (RECOMMENDED 30 DAYS PRIOR) THE CONTRACTOR SHALL PERFORM EXPLORATORY TEST PITS AT LOCATIONS OF UTILITY / DRAINAGE CROSSINGS OR CONNECTIONS WITH EXISTING UTILITY OR STORMWATER INFRASTRUCTURE. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY NECESSARY ROAD OPENING PERMITS TO PERFORM SAID EXPLORATORY WORK. SHOULD A CONFLICT BE DISCOVERED WITH THE INFORMATION CONTAINED WITHIN THESE PLANS THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.

**SANITARY / STORMWATER CONSTRUCTION NOTE:**  
 THE CONTRACTOR SHALL START CONSTRUCTION OF ALL GRAVITY SANITARY AND STORMWATER INFRASTRUCTURE AT THE DOWNSTREAM CONNECTION POINT (E.G. LOWEST INVERT) AND WORK UP-GRADE.

**PROVIDENCE WATER INSPECTION NOTE:**  
 ALL SERVICE LINES INSTALLED AS A PART OF THIS PROJECT MUST BE INSPECTED BY THE PROVIDENCE WATER SUPPLY BOARD (PWSB) PRIOR TO BACKFILLING. SERVICE LINES WILL NOT BE TURNED ON UNTIL ALL LINES ARE INSPECTED BY PWSB. CONTRACTOR SHALL SCHEDULE SERVICE INSPECTIONS AT LEAST 24 HOURS IN ADVANCE OF INSTALLATION BY CALLING PWSB CONSTRUCTION SERVICES DIVISION AT (401) 521-6300, EXT. 7102.



SYMBOL	DESCRIPTION
---	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
— —	PROPOSED GRADING RIDGELINE
←	PROPOSED DIRECTION OF DRAINAGE FLOW
X G 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
□	PROPOSED STORMWATER STRUCTURES
▨	PROPOSED STORMWATER PIPING

**DRAINAGE AND UTILITY NOTES**

- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
- CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP-GRADE.
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK-OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

**EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES**

- THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL SHORING DESIGNER. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

**STORMWATER INFILTRATION BMP CONSTRUCTION NOTES**

- PRIOR TO THE START OF CONSTRUCTION, ANY AREA DESIGNATED TO BE USED FOR AN INFILTRATION BMP (E.G. BASIN, BIORETENTION AREA, ETC.) SHALL BE FENCED OFF AND SHALL NOT BE UTILIZED AS STORAGE FOR CONSTRUCTION EQUIPMENT OR AS A STOCKPILE AREA FOR CONSTRUCTION MATERIALS. NO ACTIVITY SHALL BE PERMITTED WITHIN THE INFILTRATION BASIN AREA UNLESS RELATED TO THE CONSTRUCTION OF THE INFILTRATION BASIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ALL SUBCONTRACTORS OF BASIN AREA RESTRICTIONS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT, WHERE PRACTICAL TO AVOID SUBGRADE SOIL COMPACTION IN THE AREAS DESIGNATED TO BE USED FOR AN INFILTRATION BMP.
- ALL EXCAVATION WITHIN THE LIMITS OF ANY INFILTRATION BMP SHALL BE PERFORMED WITH THE LIGHTEST PRACTICAL EXCAVATION EQUIPMENT. ALL EXCAVATION EQUIPMENT SHALL BE PLACED OUTSIDE THE LIMITS OF THE BASIN WHERE FEASIBLE. THE USE OF LIGHT-WEIGHT, RUBBER-TIRED EQUIPMENT (LESS THAN 8 PSI APPLIED TO THE GROUND SURFACE) IS RECOMMENDED WITHIN THE BASIN LIMITS.
- THE SEQUENCE OF SITE CONSTRUCTION SHALL BE COORDINATED WITH BASIN CONSTRUCTION TO ADHERE TO SEQUENCING LIMITATIONS.
- DURING THE FINAL GRADING OF AN INFILTRATION BASIN, THE BOTTOM OF THE BASIN SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW AND THEN SMOOTHED OUT WITH A LEVELING DRAW OR EQUIVALENT GRADING EQUIPMENT. ALL GRADING EQUIPMENT SHALL BE LOCATED OUTSIDE OF THE BASIN BOTTOM WHERE FEASIBLE.
- FOLLOWING CONSTRUCTION OF AN INFILTRATION BASIN, SOIL INFILTRATION TESTING BY A LICENSED GEOTECHNICAL ENGINEER IS REQUIRED TO CERTIFY COMPLIANCE WITH THE DESIGN. INFILTRATION RATES IN ACCORDANCE WITH APPENDIX E OF THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION'S BEST MANAGEMENT PRACTICES MANUAL, LATEST EDITION, IF THE FIELD INFILTRATION RATES ARE LOWER THAN THE RATE USED DURING DESIGN, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING IMMEDIATELY TO DETERMINE THE APPROPRIATE COURSE OF ACTION.
- THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY TO DETERMINE IF WITNESS TESTING IS REQUIRED DURING INFILTRATION BASIN EXCAVATION AND/OR SOIL INFILTRATION TESTING.

**STORMWATER UNDERGROUND BMP CONSTRUCTION NOTES**

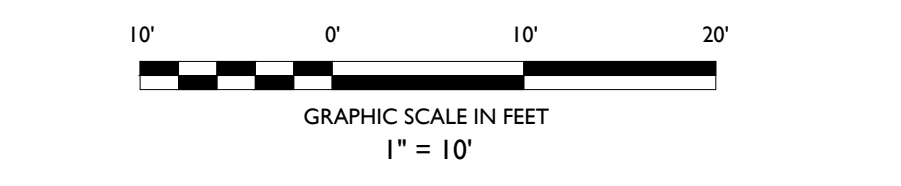
- THE CONTRACTOR SHALL INSTALL AND BACKFILL THE UNDERGROUND BMP IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- UNDERGROUND BASINS SHALL UTILIZE A STONE BACKFILL WITH A MINIMUM VOID RATIO OF 40%.
- NO CONSTRUCTION LOADING OVER UNDERGROUND BASINS IS PERMITTED UNTIL BACKFILL IS COMPLETE PER THE MANUFACTURER'S SPECIFICATIONS. NO VEHICLES SHALL BE STAGED OR OPERATE FROM A FIXED POSITION OVER THE BASIN.

**GRADING NOTES**

- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR.
- THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
- MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
  - CURB GUTTER: 0.50%
  - CONCRETE SURFACES: 1.00%
  - ASPHALT SURFACES: 1.00%
- A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.
- FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

**ADA NOTES**

- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
- THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS, LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP RAMP, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
- ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
- A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
- THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
- THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATIONS) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.



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MINOR LAND DEVELOPMENT PLAN

**297 DEXTER STREET HOLDINGS, LLC**

**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

A.P. 31, LOTS 125, 672, 534, & 525  
 RECORD LOTS 665, 67, 68, 69  
 309 DEXTER STREET  
 CITY OF PROVIDENCE  
 PROVIDENCE COUNTY, RHODE ISLAND

JOSHUA H. KLINE, P.E.  
 RHODE ISLAND LICENSE NO. 13607  
 LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
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SCALE: 1" = 10' PROJECT ID: BOS-25101

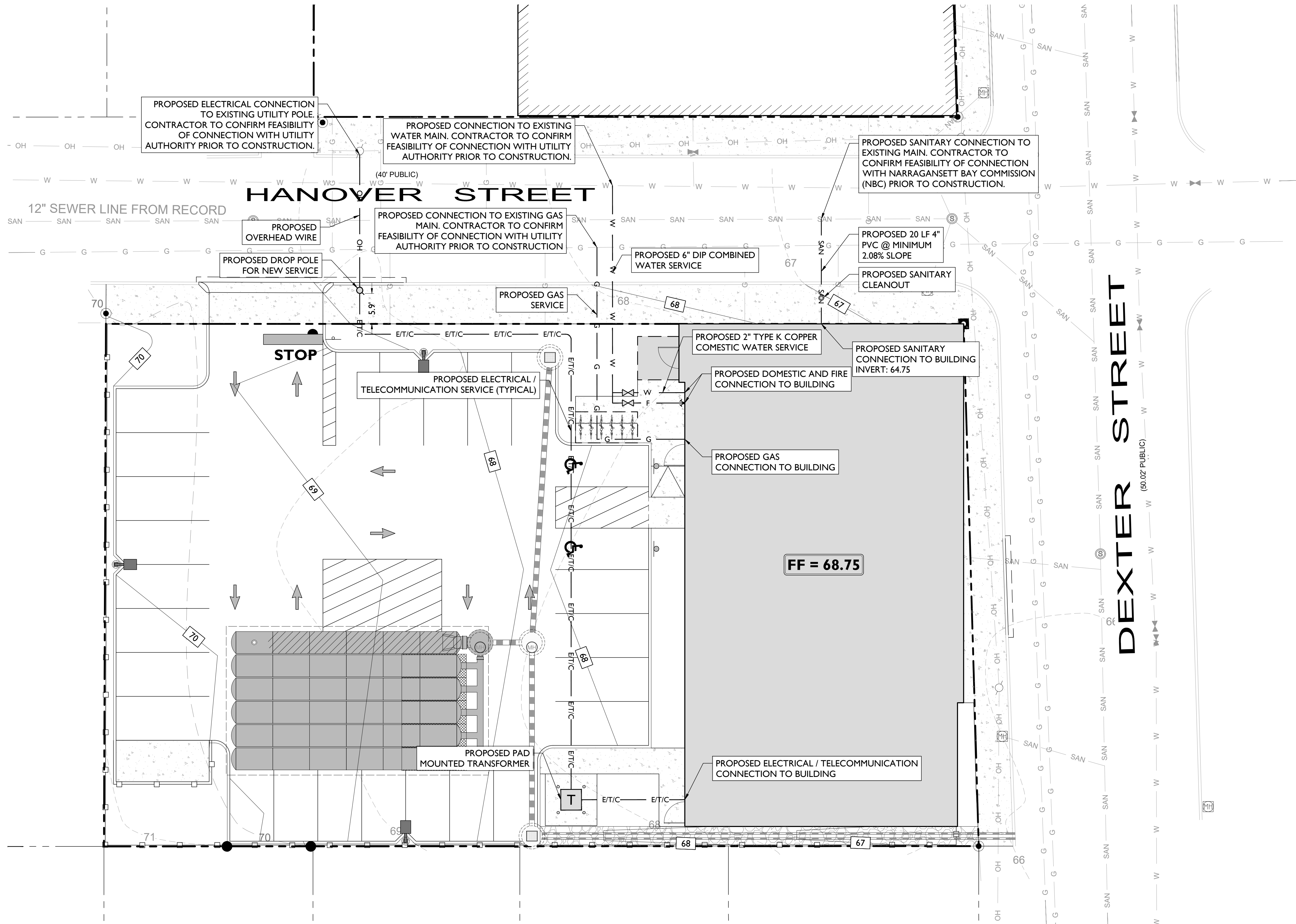
TITLE:  
**GRADING & DRAINAGE PLAN**

DRAWING:

**C-6**

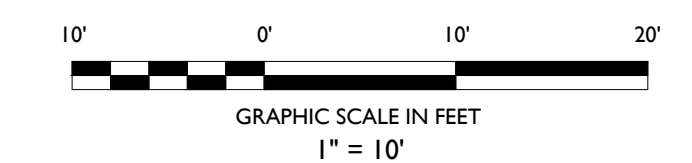
24/07/2025 09:20:25 25101 - 297 DEXTER STREET, PROVIDENCE, RI - 309 DEXTER STREET, PROVIDENCE COUNTY, RHODE ISLAND

**EXCAVATION & UTILITY VERIFICATION NOTE:**  
 PRIOR TO THE START OF CONSTRUCTION (RECOMMENDED 30 DAYS PRIOR) THE CONTRACTOR SHALL PERFORM EXPLORATORY TEST PITS AT LOCATIONS OF UTILITY / DRAINAGE CROSSINGS OR CONNECTIONS WITH EXISTING UTILITY OR STORMWATER INFRASTRUCTURE. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY NECESSARY ROAD OPENING PERMITS TO PERFORM SAID EXPLORATORY WORK. SHOULD A CONFLICT BE DISCOVERED WITH THE INFORMATION CONTAINED WITHIN THESE PLANS THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.



SYMBOL	DESCRIPTION
---	PROPERTY LINE
SAN	PROPOSED SANITARY LATERAL
W	PROPOSED DOMESTIC WATER SERVICE
E/T/C	PROPOSED ELECTRICAL/DATA CONDUITS
OH	PROPOSED OVERHEAD WIRES
G	PROPOSED GAS LINE
⊗	PROPOSED VALVE
⋈	PROPOSED FIRE DIRECT CONNECTION (FDC)
○	PROPOSED SANITARY CLEANOUT
T	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS

- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
  - THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
  - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
  - A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
  - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
  - CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADE.
  - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
  - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THIS PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



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SCALE: 1" = 10' PROJECT ID: BOS-250101

TITLE: **UTILITY PLAN**

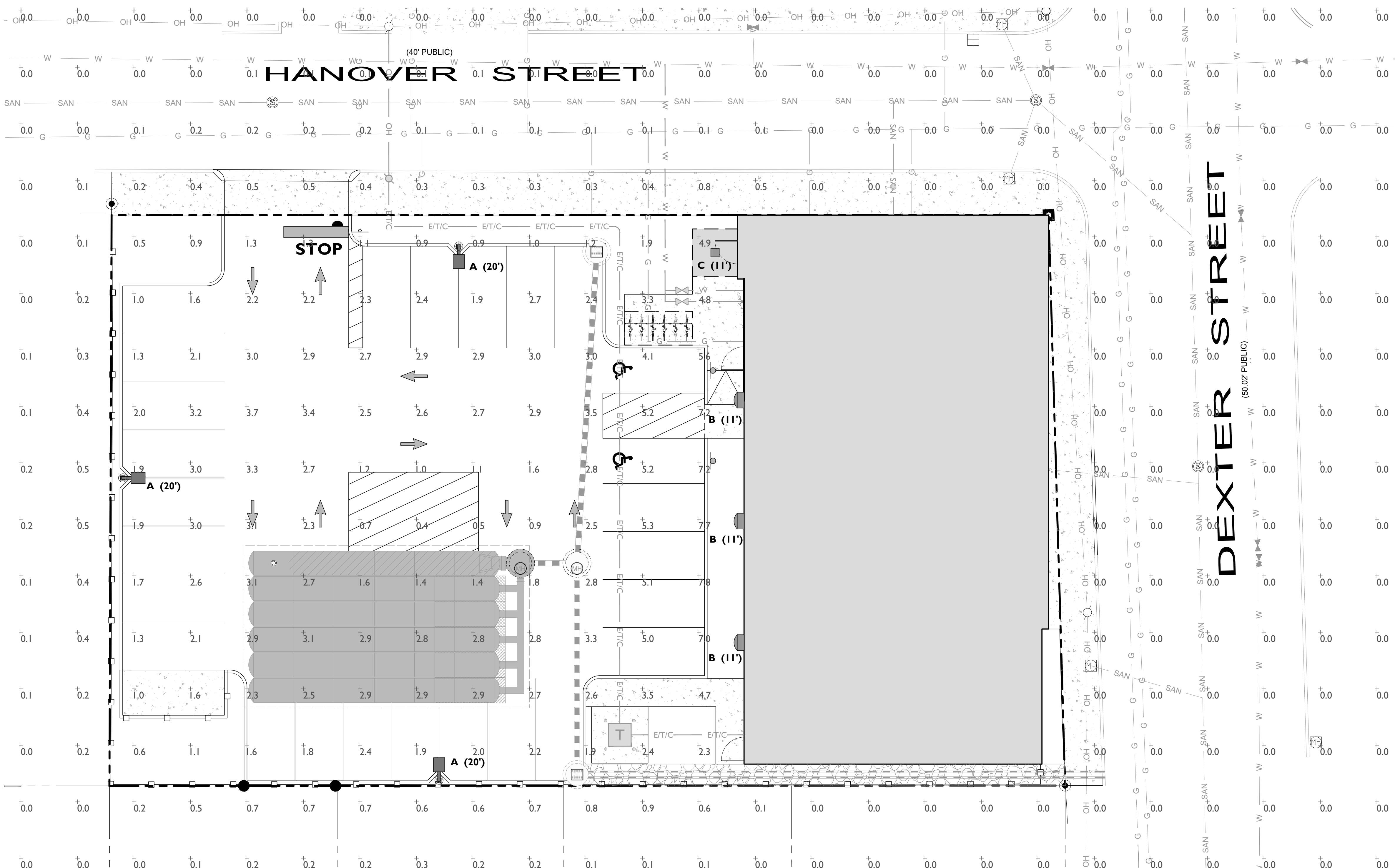
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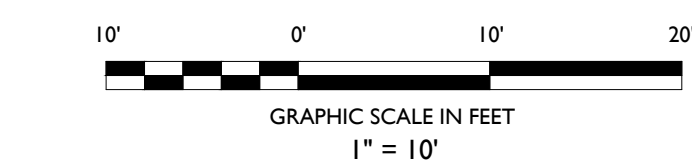
LIGHTING REGULATIONS		
CODE SECTION	REQUIRED	PROPOSED
§ 1301 C.1.	MAXIMUM ALLOWABLE LIGHT LEVEL AT ANY LOT LINE: 1 FC	0.9 FC
§ 1301 C.2.	NO GLARE ON TO ADJACENT PROPERTIES	COMPLIES
§ 1301 D.	CUT OFF ANGLE REQUIRED FOR LUMINAIRES: 75°	70°
§ 1301 D.1.	MAXIMUM LUMINAIRE MOUNTING HEIGHT: 25 FT	20 FT

PROPOSED LUMINAIRE SCHEDULE								
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	CONTROL	IES FILE
	A	3	MIRADA MEDIUM OUTDOOR LED AREA LIGHT - 9L - 30K - 70 CRI - IH	3	0.9	LSI	NA	MRM-LED-09L-SIL-3-30-70CRI-IH.ies
	B	3	MIRADA SMALL WALL SCONCE SILICONE - 6L - 30K - 70 CRI	FT	0.9	LSI	NA	XWS-LED-06L-SIL-FT-30-70CRI.ies
	C	1	XSPS LED SOFFIT LIGHT - SS - WWW - DFL	SYMMETRIC	0.4	LSI	DIMMING	XSPS-S-LED-SS-WWW-DFL.ies

SYMBOL	DESCRIPTION
---	PROPOSED CALCULATION AREA
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
+xxx	PROPOSED LIGHTING INTENSITY (FOOT-CANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT



- GENERAL LIGHTING NOTES**
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE. THE LIGHTING LEVELS MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
  - WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
  - UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
    - LIGHT EMITTING DIODES (LED): 0.90
    - HIGH PRESSURE SODIUM: 0.72
    - METAL HALIDE: 0.72
  - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
  - THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



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CITY OF PROVIDENCE  
PROVIDENCE COUNTY, RHODE ISLAND

JOSHUA H. KLINE, P.E.  
RHODE ISLAND LICENSE No. 13607  
LICENSED PROFESSIONAL ENGINEER

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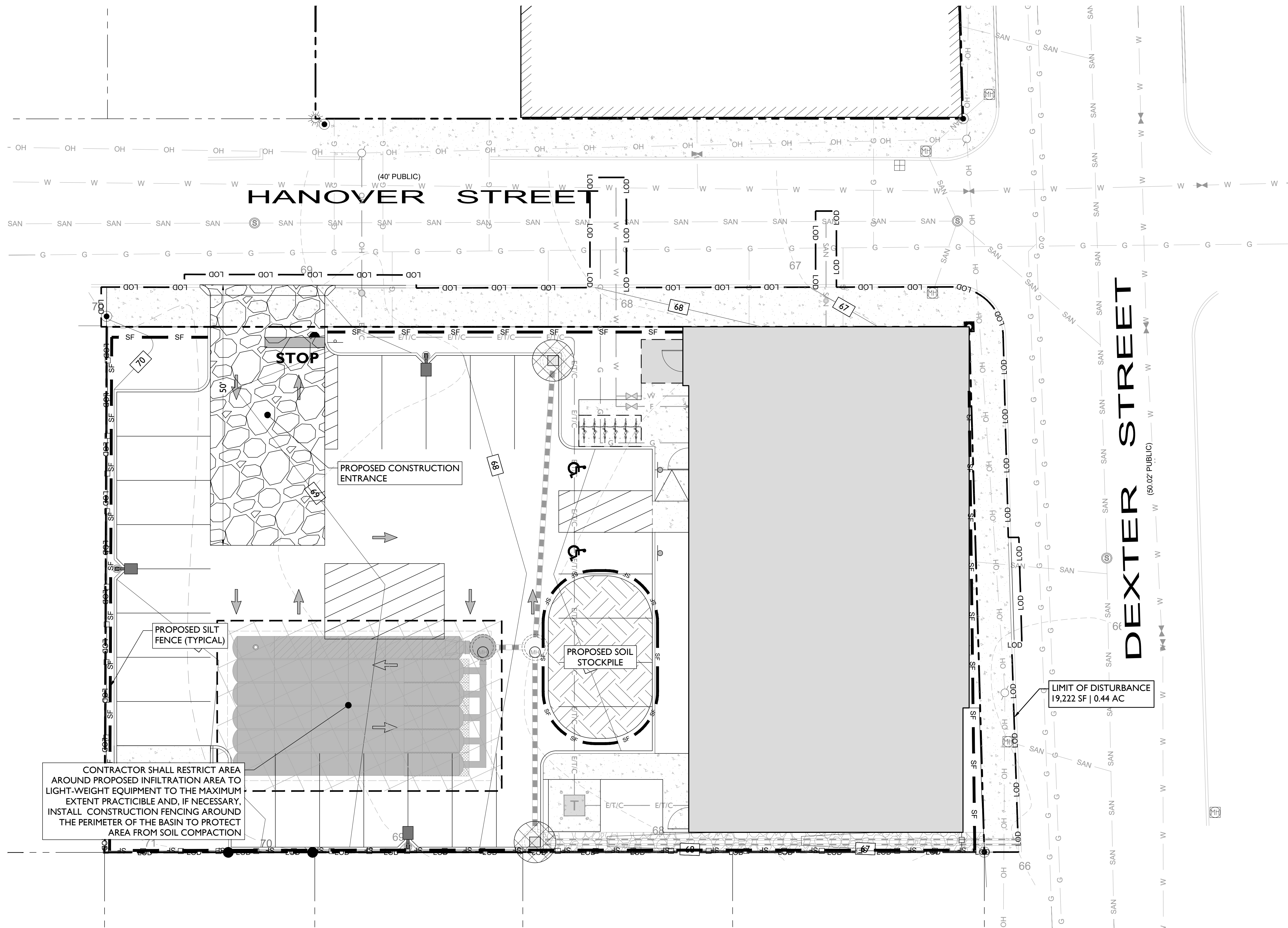
SCALE: 1" = 10' PROJECT ID: BOS-251010

TITLE:  
**LIGHTING PLAN**

DRAWING:  
**C-8**

24/07/2025 09:52:00 2501 - 297 DEXTER STREET, PROVIDENCE, RHODE ISLAND 02903

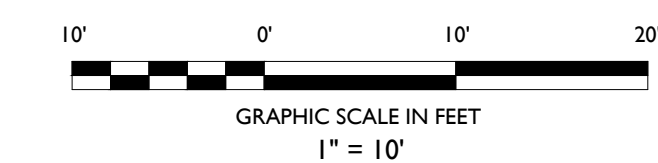
24/07/2016 09:52:30 AM 255.1 291 DEXTER STREET, PROVIDENCE, RHODE ISLAND 02903 19.5822 DWG



SYMBOL	DESCRIPTION
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED SILT FENCE
	PROPOSED TREE PROTECTION FENCE
	PROPOSED STOCKPILE & EQUIPMENT STORAGE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	AREA TO BE PROTECTED FROM SOIL COMPACTION
	PROPOSED INLET PROTECTION FILTER

- SOIL EROSION AND SEDIMENT CONTROL NOTES**
1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
  2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
  3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.

CONTRACTOR SHALL RESTRICT AREA AROUND PROPOSED INFILTRATION AREA TO LIGHT-WEIGHT EQUIPMENT TO THE MAXIMUM EXTENT PRACTICABLE AND, IF NECESSARY, INSTALL CONSTRUCTION FENCING AROUND THE PERIMETER OF THE BASIN TO PROTECT AREA FROM SOIL COMPACTION



ISSUE	DATE	BY	DESCRIPTION
1	02/04/2016	SCL	FOR MINOR LAND DEVELOPMENT SUBMISSION

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MINOR LAND DEVELOPMENT PLAN

**297 DEXTER STREET HOLDINGS, LLC**

**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

A.P. 31 | LOTS 125, 523, 524 & 525  
RECORD LOTS 665, 671, 685, 69  
309 DEXTER STREET  
CITY OF PROVIDENCE  
PROVIDENCE COUNTY, RHODE ISLAND

JOSHUA H. KLINE, P.E.  
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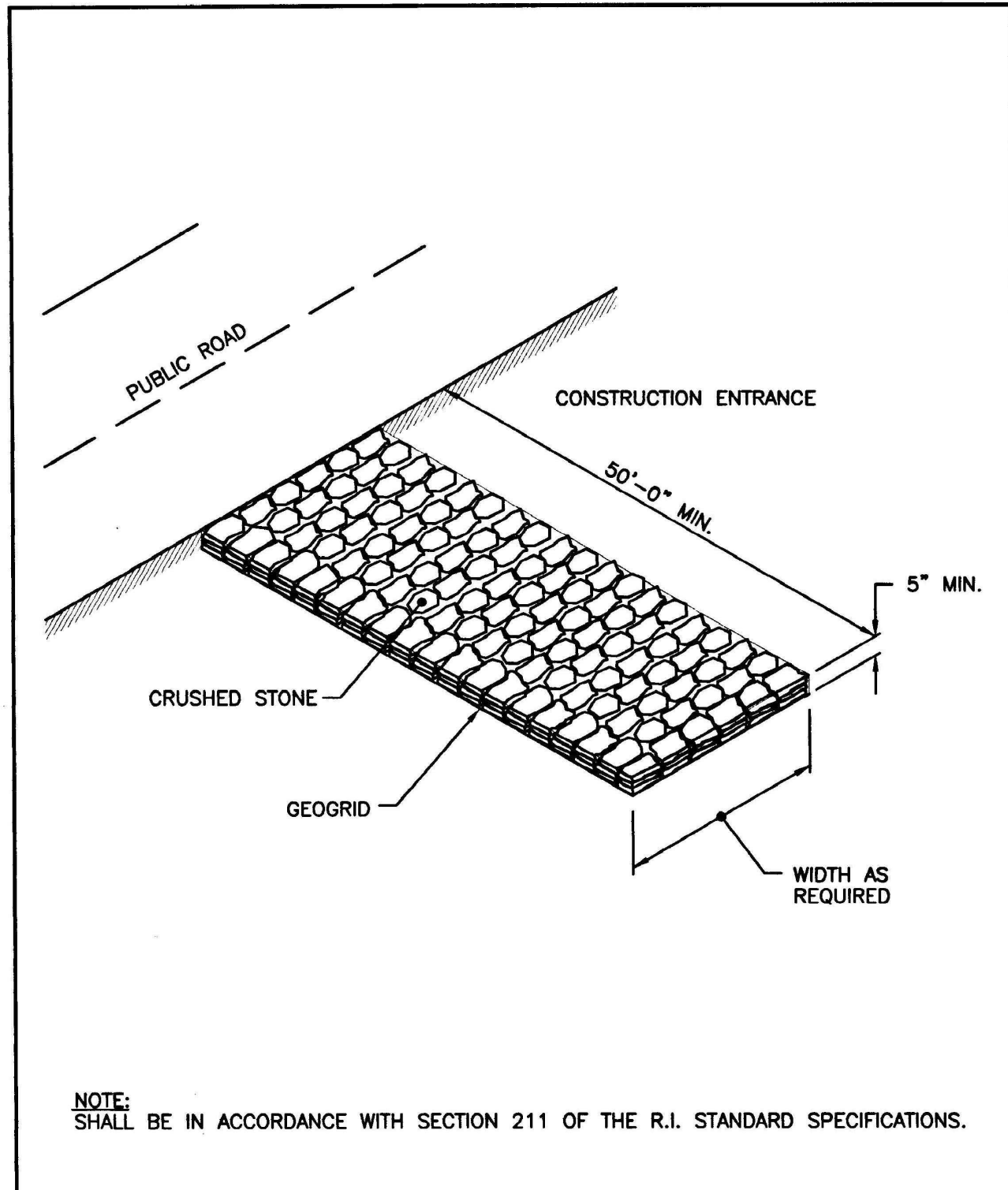
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SCALE: 1" = 10' PROJECT ID: BOS-250101

TITLE:  
**SOIL EROSION & SEDIMENT CONTROL PLAN**

DRAWING:

**C-9**



NOTE:  
SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

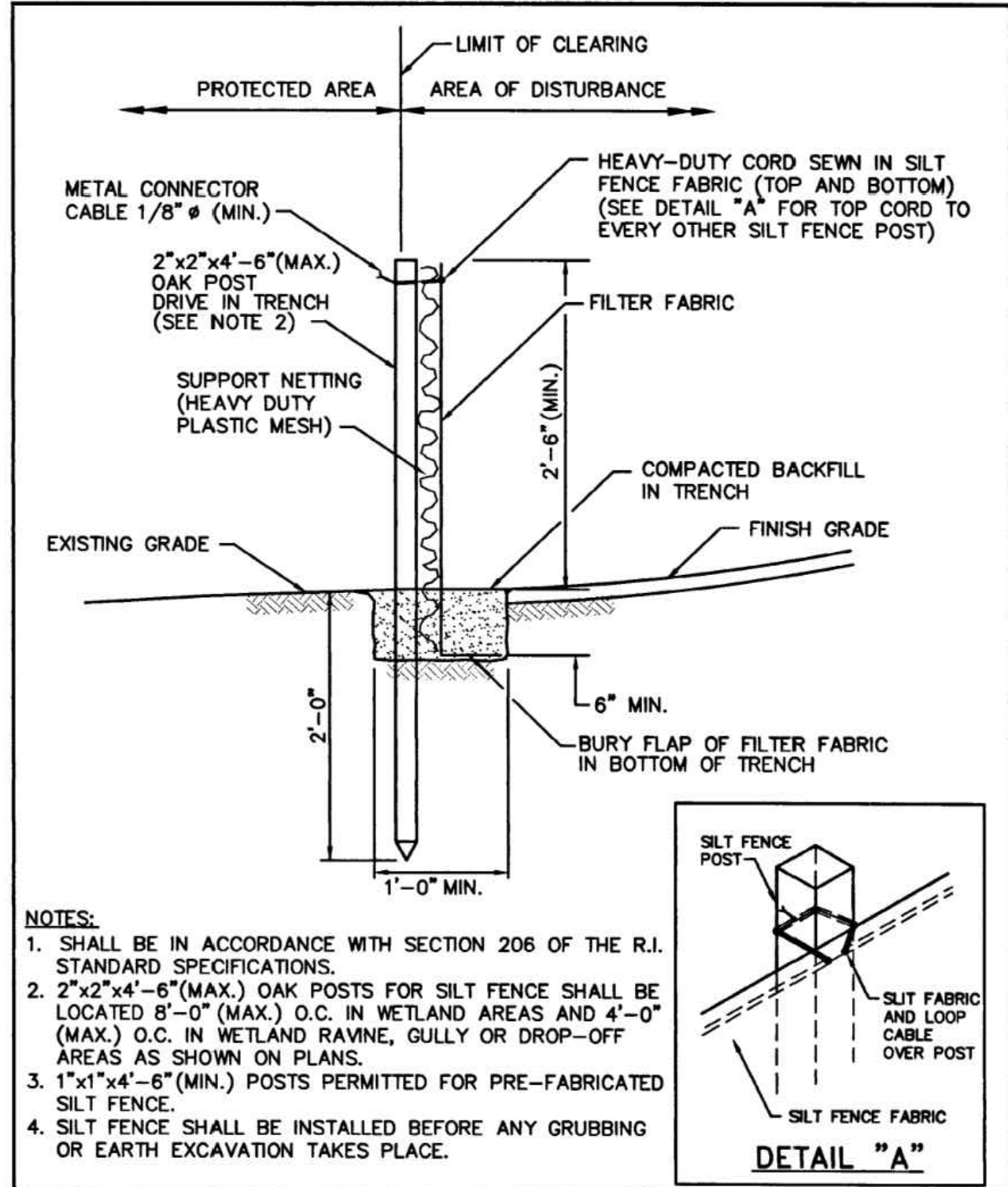
REVISIONS		
NO.	BY	DATE

RHODE ISLAND DEPARTMENT OF TRANSPORTATION  
**CONSTRUCTION ACCESS**

*James L. Capaldi* JUN 15, 1998  
CLERK ENGINEER TRANSPORTATION

*Edward P. Berke* JUN 15, 1998  
CLERK DESIGN ENGINEER TRANSPORTATION

R.I. STANDARD **9.9.0**



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
  2. 2"x2"x4"-6"(MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
  3. 1"x1"x4"-6"(MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
  4. SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

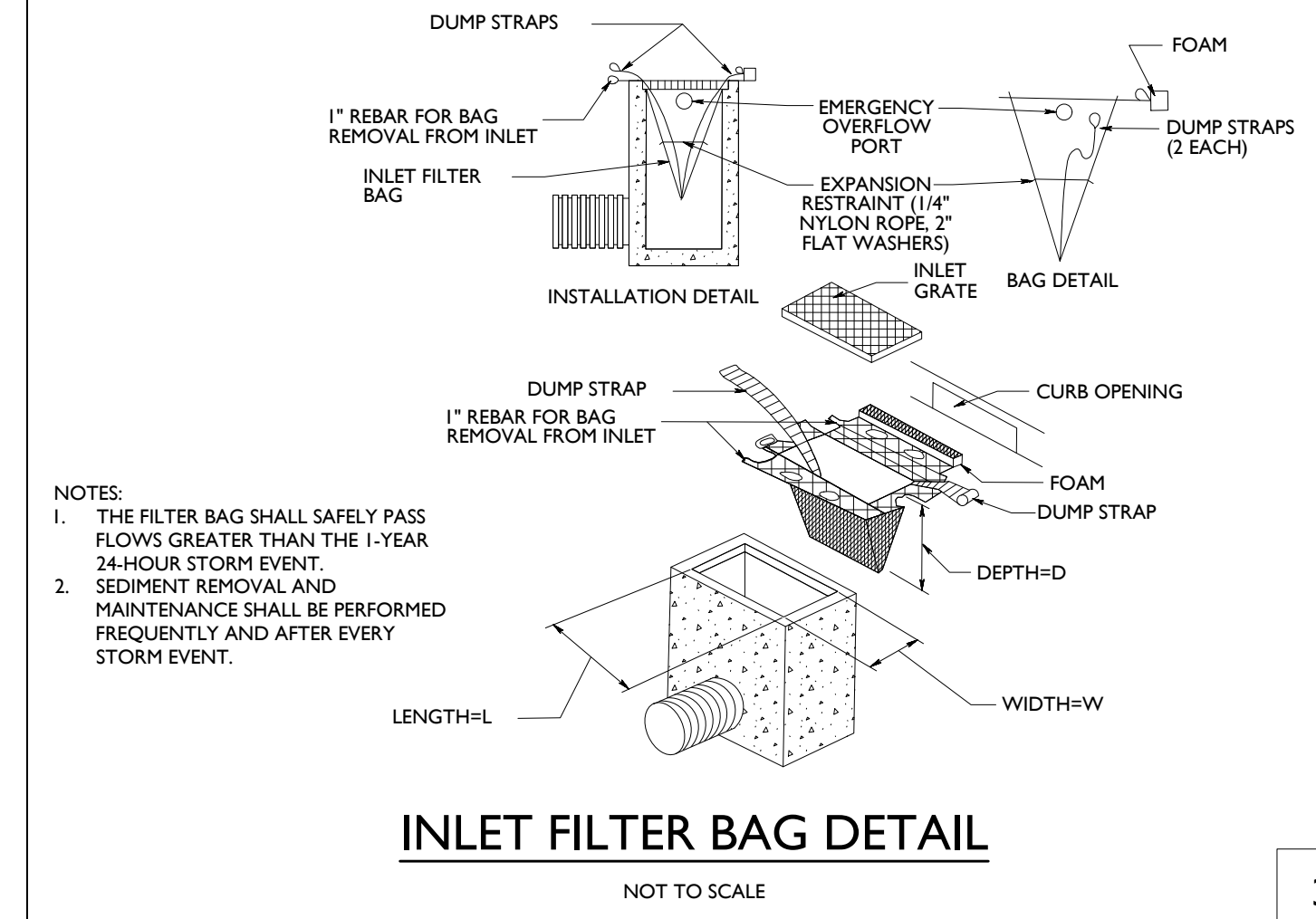
REVISIONS		
NO.	BY	DATE

RHODE ISLAND DEPARTMENT OF TRANSPORTATION  
**SILT FENCE DETAIL**

*James L. Capaldi* JUN 15, 1998  
CLERK ENGINEER TRANSPORTATION

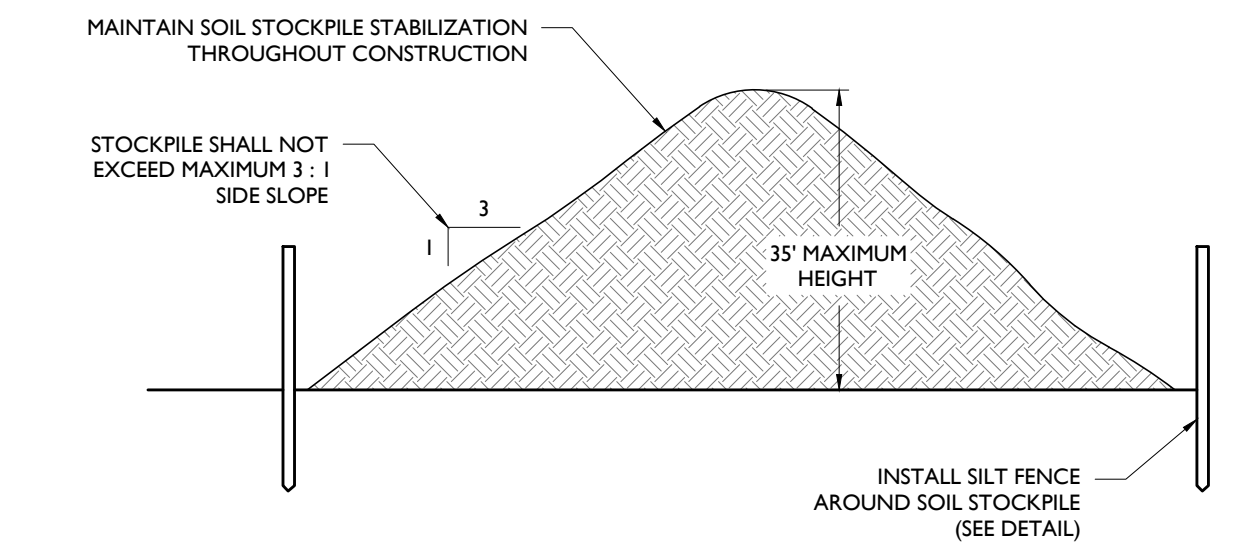
*Edward P. Berke* JUN 15, 1998  
CLERK DESIGN ENGINEER TRANSPORTATION

R.I. STANDARD **9.2.0**



- NOTES:
1. THE FILTER BAG SHALL SAFELY PASS FLOWS GREATER THAN THE 1-YEAR 24-HOUR STORM EVENT.
  2. SEDIMENT REMOVAL AND MAINTENANCE SHALL BE PERFORMED FREQUENTLY AND AFTER EVERY STORM EVENT.

**INLET FILTER BAG DETAIL**  
NOT TO SCALE



- NOTES:
1. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
  2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

**SOIL STOCKPILE DETAIL**  
NOT TO SCALE

1

2

3

4


FOR MINOR LAND DEVELOPMENT SUBMISSION

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MINOR LAND DEVELOPMENT PLAN

**297 DEXTER STREET HOLDINGS, LLC**

**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

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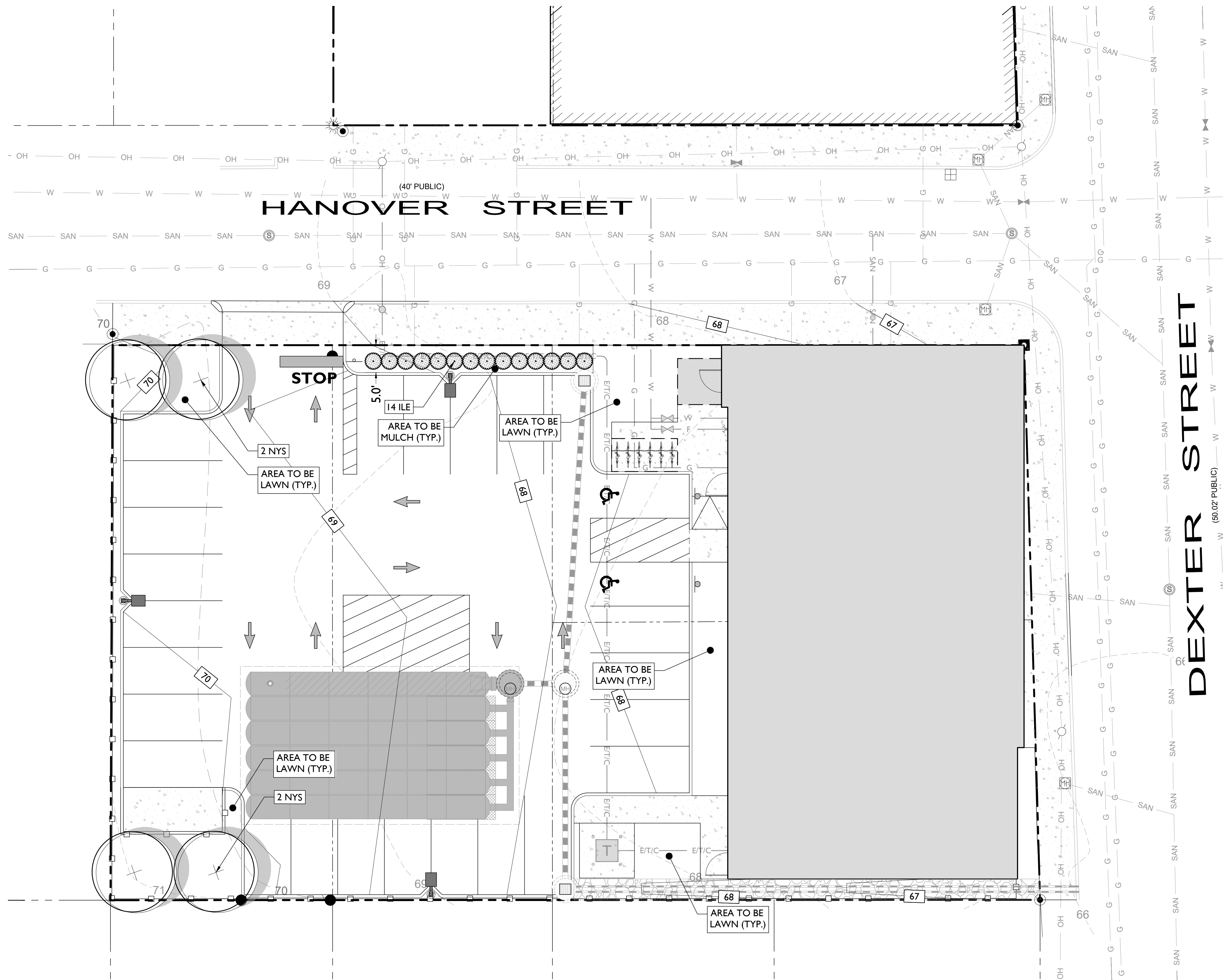
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SCALE: 1" = 10' PROJECT ID: BOS-250101

TITLE:  
**SOIL EROSION & SEDIMENT CONTROL DETAILS**

DRAWING:  
**C-10**

24/07/2024 09:52:28 AM 225 - 297 DEXTER STREET, PROVIDENCE, RHODE ISLAND 02903



PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
DECIDUOUS TREES						
	NYS	4	NYSSA SYLVATICA	TUPELO	2" - 2.5" CAL	B&B
EVERGREEN SHRUBS						
	ILE	14	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	18" - 24"	POT

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

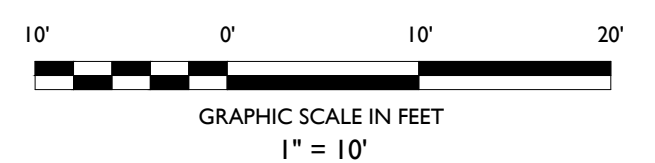
LANDSCAPING AND BUFFER REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 1503.C.1.d	TREE CANOPY PERCENTAGE MINIMUM TREE CANOPY PERCENTAGE FOR NON-RESIDENTIAL LOTS: 15% (16,919 SF) * (0.15) = 2,538 SF	2,800 SF (16.5%)
§ 1503.C.2	CALCULATION OF TREE CANOPY COVERAGE LARGE TREE: 1,000 SF, MEDIUM TREE: 700 SF, SMALL TREE: 300 SF (0 TREES) * (1,000 SF) + (4 TREES) * (700 SF) + (0 TREES) * (300 SF) = 2,800 TOTAL SF	2,800 SF
§ 1504	PERIMETER PARKING LOT LANDSCAPING PERIMETER LANDSCAPE STRIP REQUIRED FOR ALL PARKING LOTS THAT ABUT A PUBLIC R.O.W.	
§ 1504.A	MINIMUM LANDSCAPE STRIP WIDTH: 5 FT	5.0 FT
§ 1504.B	1 TREE FOR EVERY 25 FT OF LANDSCAPE STRIP (48 FT) * (1 TREE / 25 FT) = 2 TREES	2 TREES COMPLIES
§ 1504.B	MINIMUM 60% OF LANDSCAPE STRIP SHALL BE PLANTED WITH SHRUBS, PERENNIALS, OR GRASSES	COMPLIES
§ 1504.F	LANDSCAPE STRIP SHALL BE DESIGNED FOR THE ABSORPTION OF STORMWATER	COMPLIES
§ 1506	SCREENING OF PARKING LOT FROM RESIDENTIAL DISTRICTS ALL PARKING LOTS THAT ABUT A RESIDENTIAL DISTRICT SHALL BE SCREENED BY A SOLID WALL, FENCE OR HEDGE OF COMPACT EVERGREEN PLANTINGS	COMPLIES, 6 FT FENCE PROPOSED



Know what's below  
Call before you dig.

**IRRIGATION NOTE:**  
IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

- LANDSCAPING NOTES**
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  - THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
  - THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
  - THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  - THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
  - THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



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**297 DEXTER STREET HOLDINGS, LLC**

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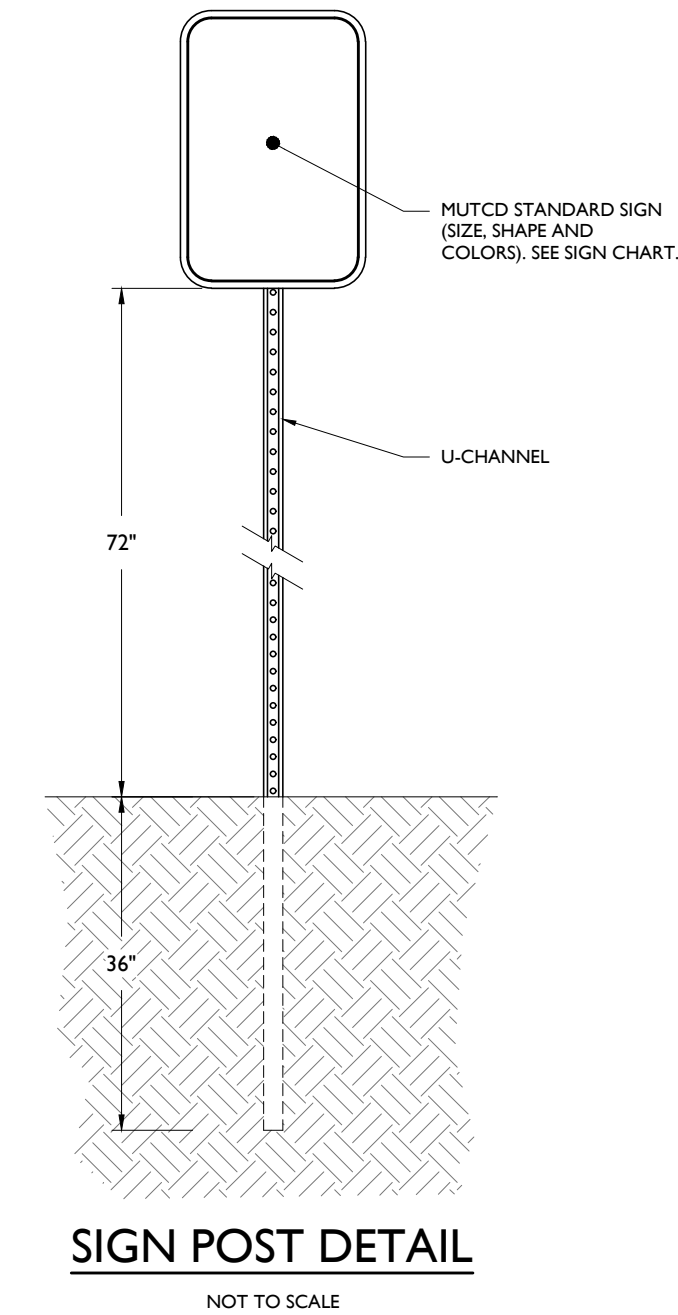
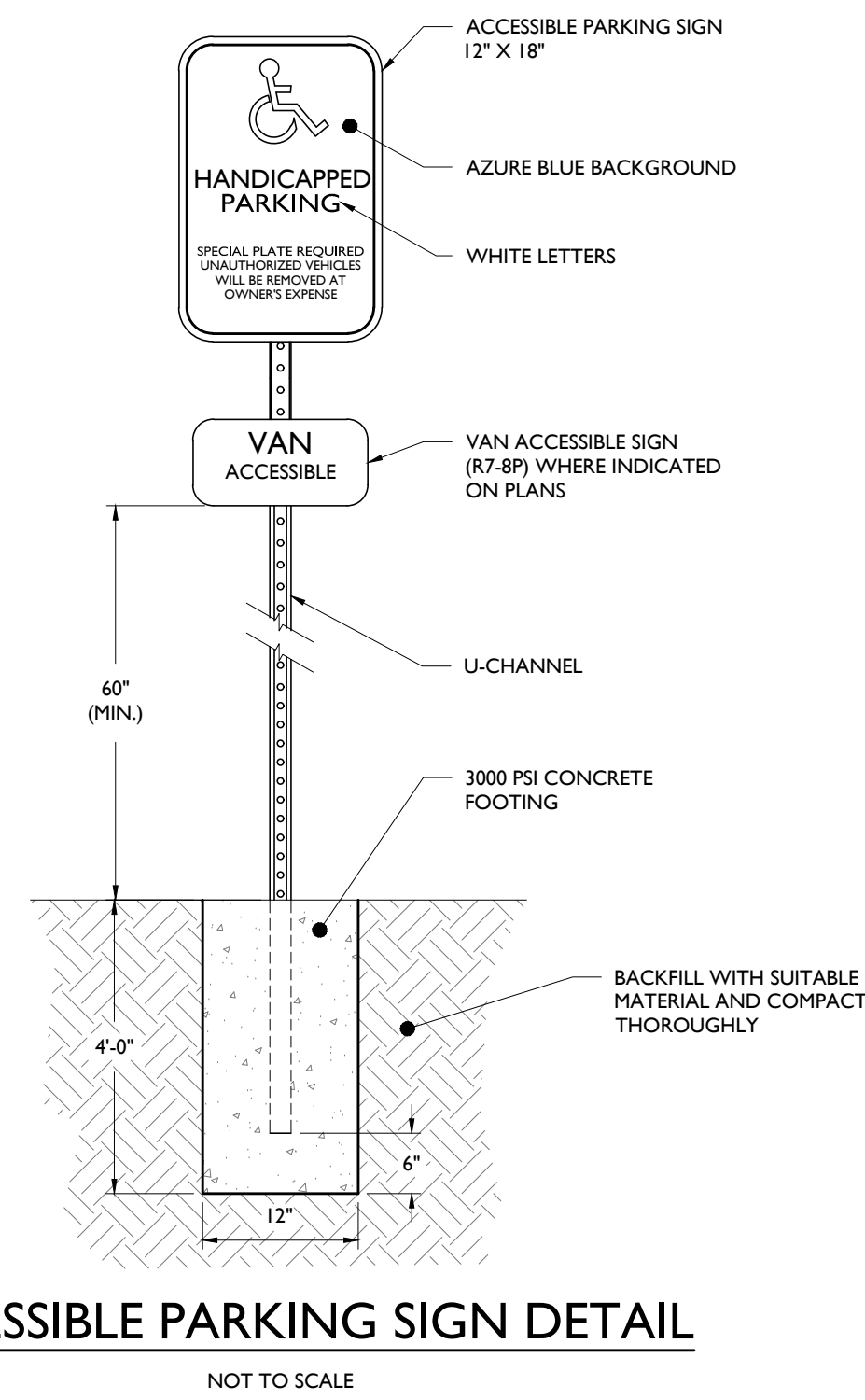
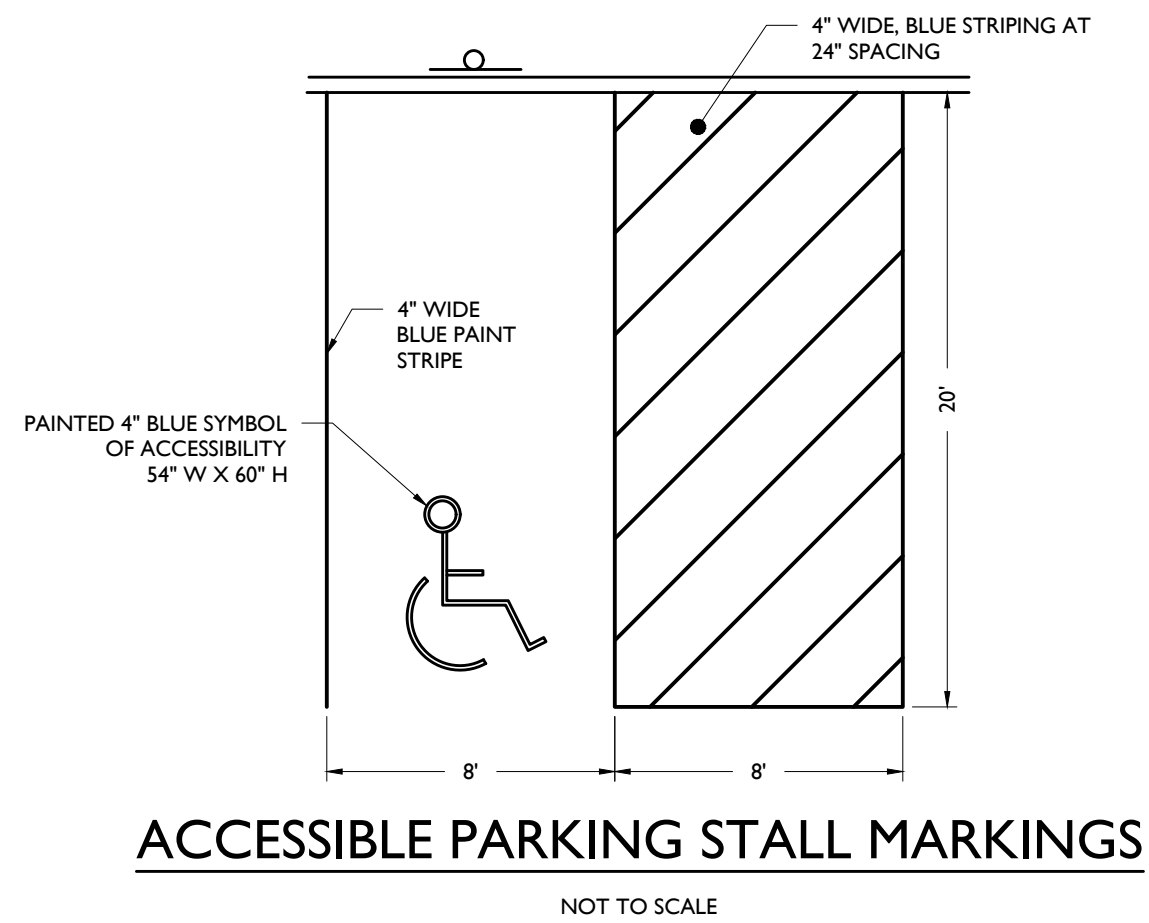
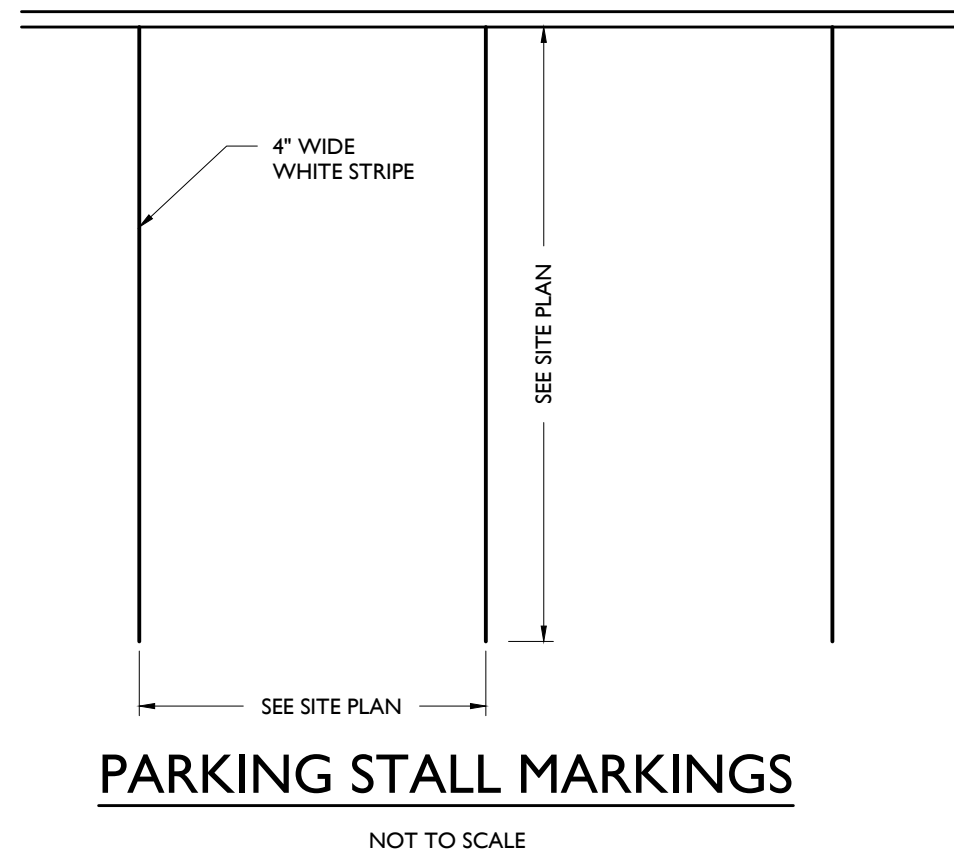
SCALE: 1" = 10' PROJECT ID: BOS-250101

TITLE:  
**LANDSCAPE PLAN**

DRAWING:  
**C-11**



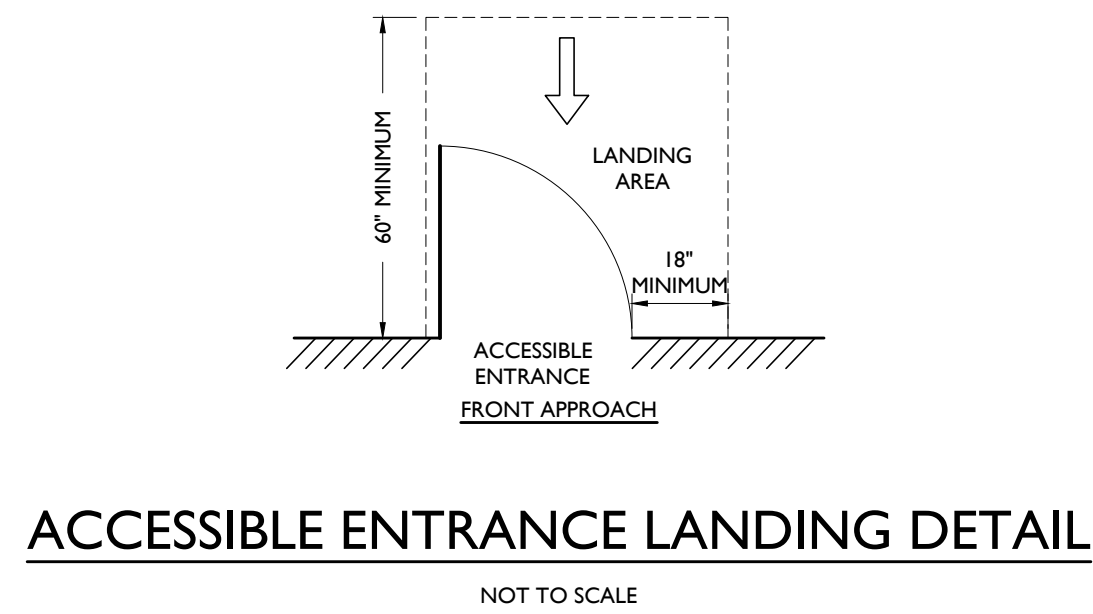




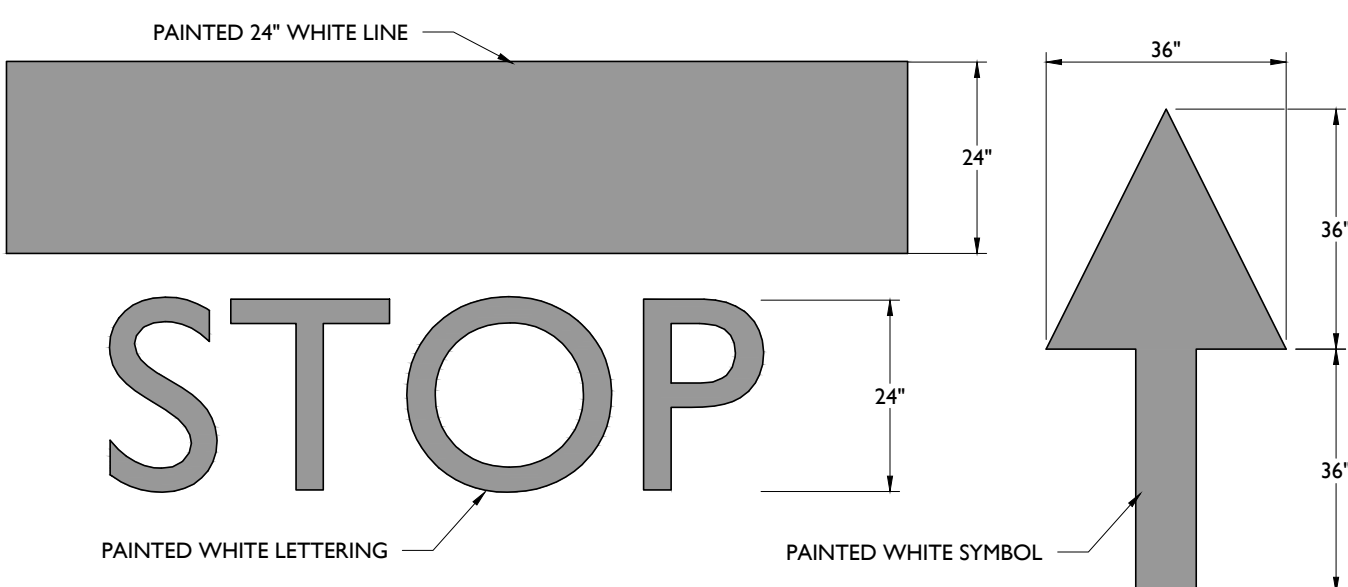
M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		WHITE	RED	36" X 36"	GROUND

NOTE:  
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.  
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

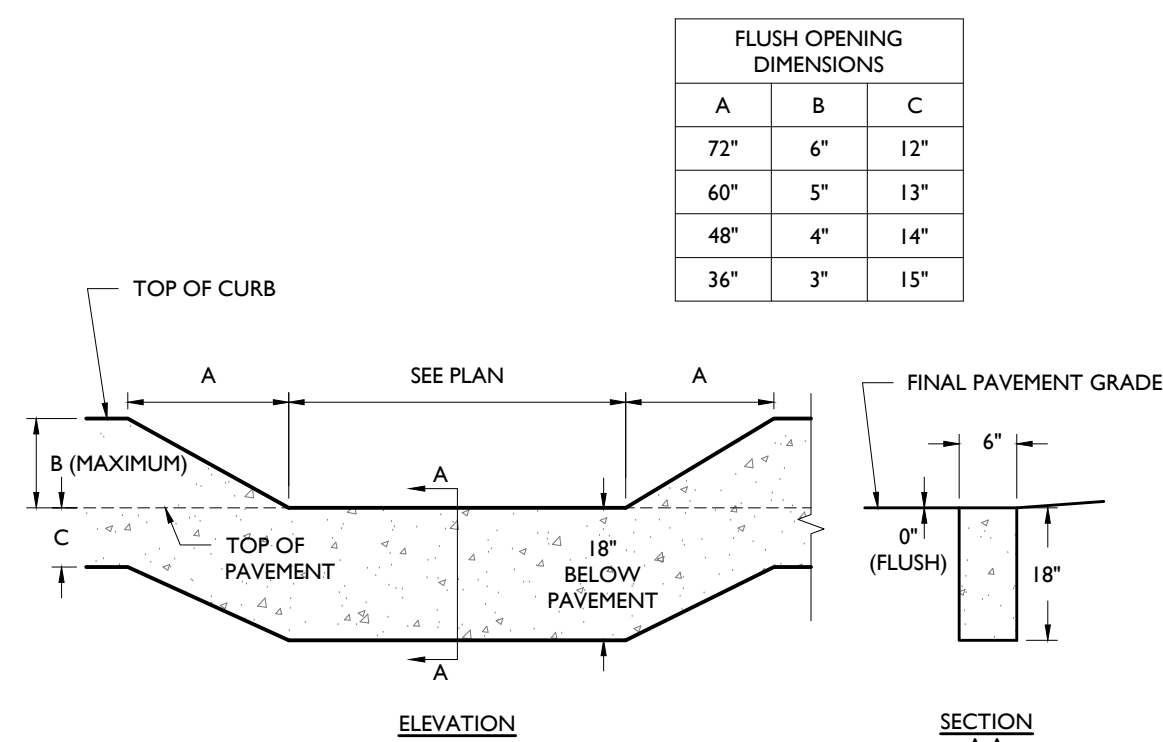
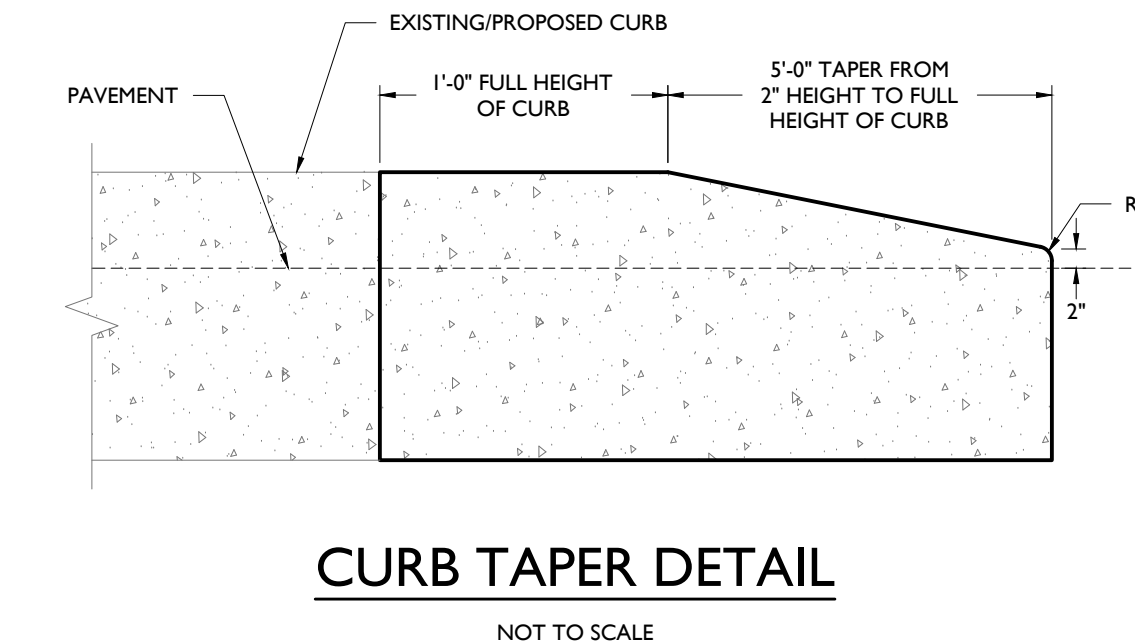
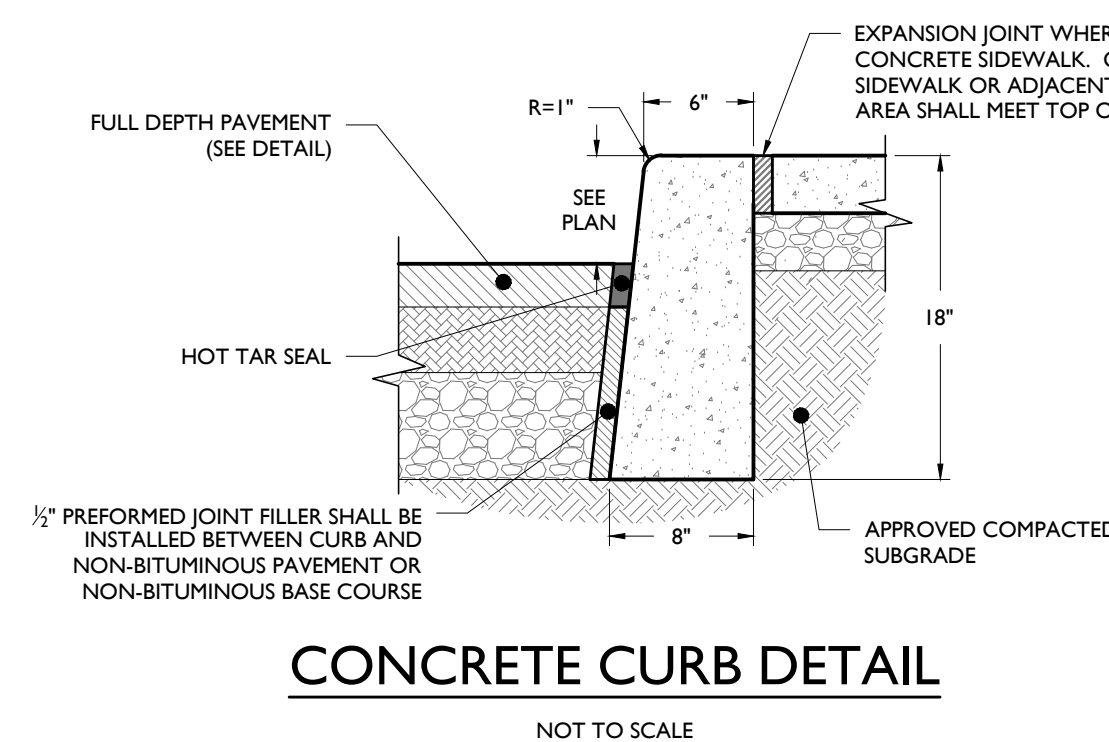
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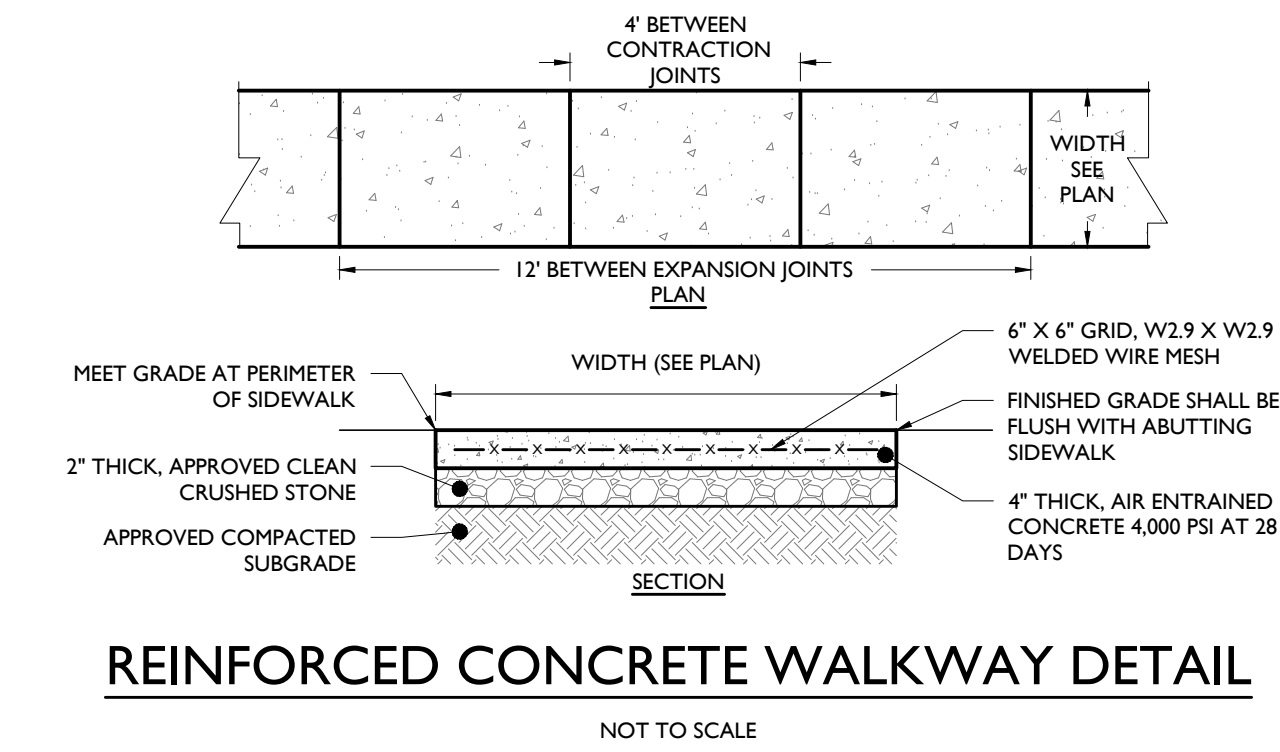
NOTES:  
1. MAXIMUM SLOPE ON LANDING SHALL BE 1:50 IN ALL DIRECTIONS.  
2. DIMENSIONS SHOWN HERE ARE THE MINIMUM DIMENSIONS REQUIRED FOR AN ADA COMPLIANT LANDING AT THE ACCESSIBLE ENTRANCE. REFER TO SITE PLAN FOR SITE SPECIFIC DIMENSIONS THAT MAY SPECIFY A LARGER LANDING AREA.  
3. CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE CONSTRUCTION IF THE ACCESSIBLE ENTRANCE ON SITE DOES NOT MATCH THE SCENARIO SHOWN ABOVE.



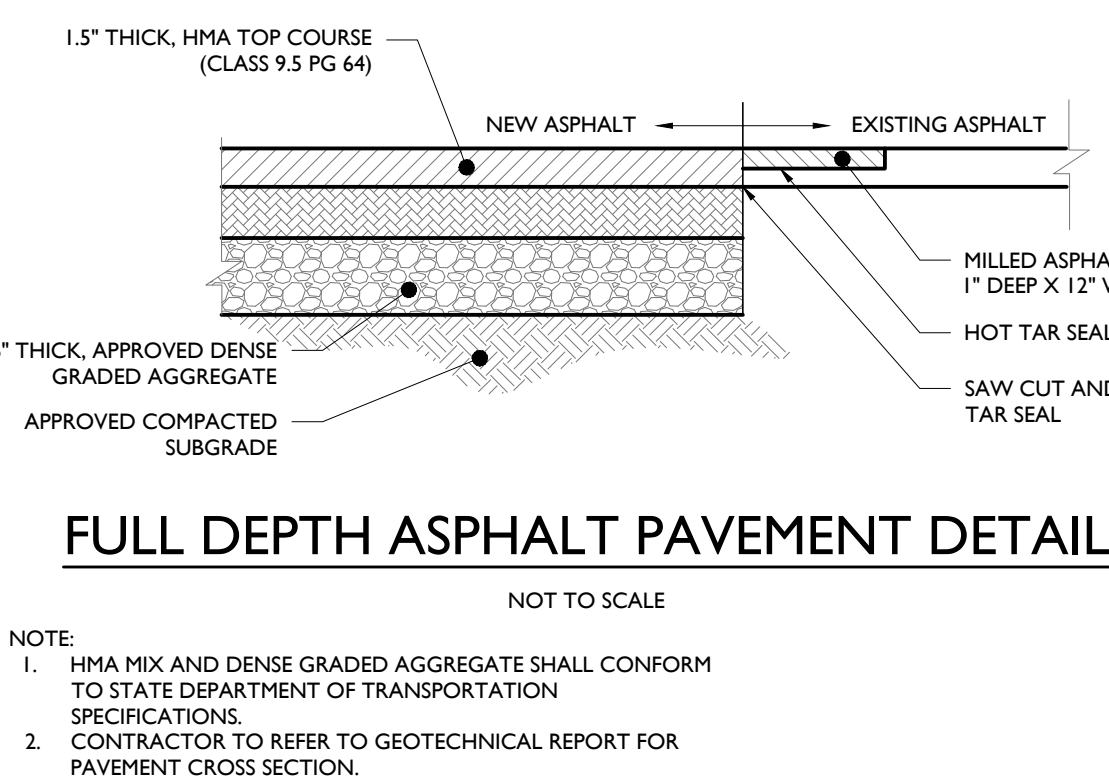
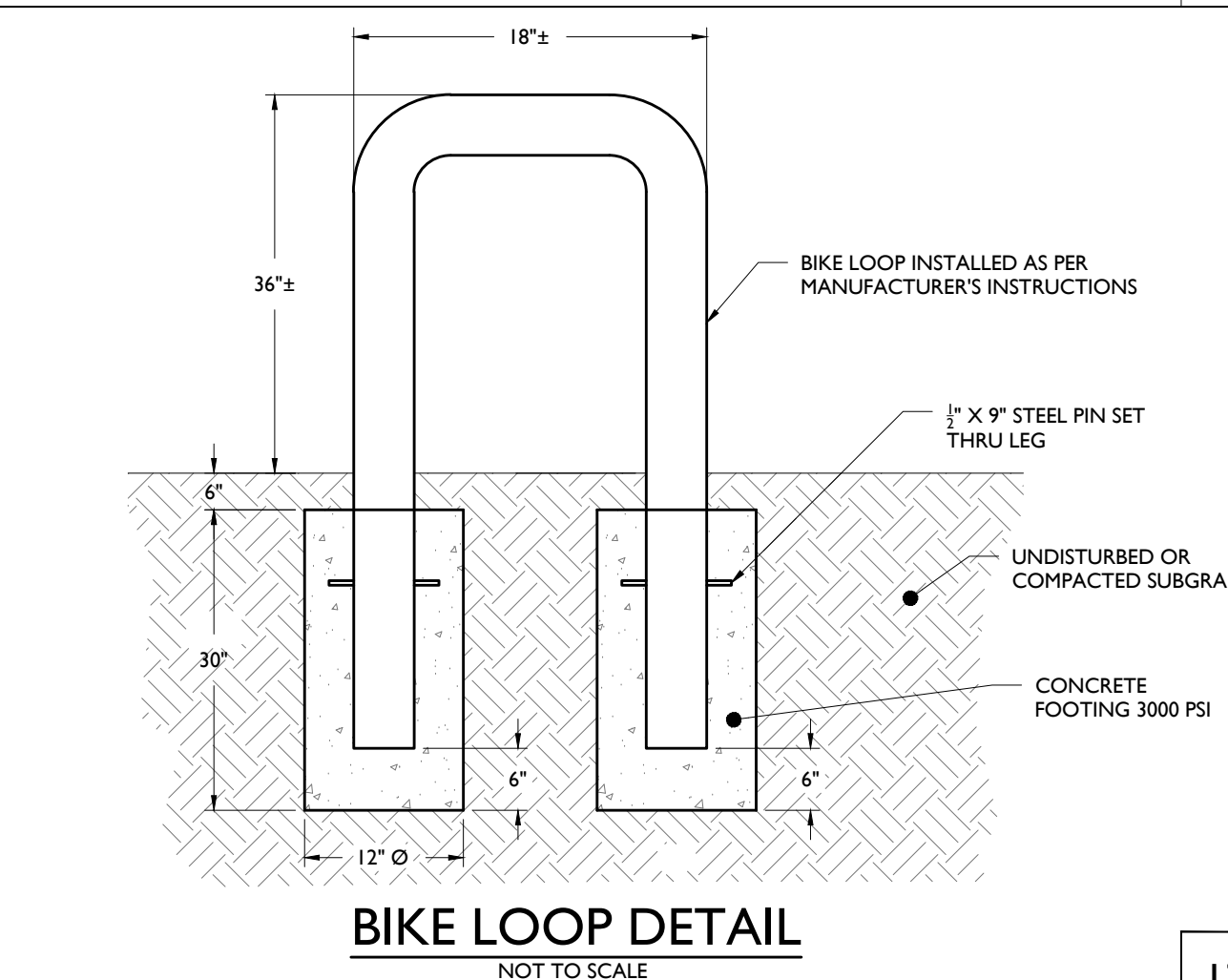
**STOP BAR & ARROW DETAILS**  
NOT TO SCALE



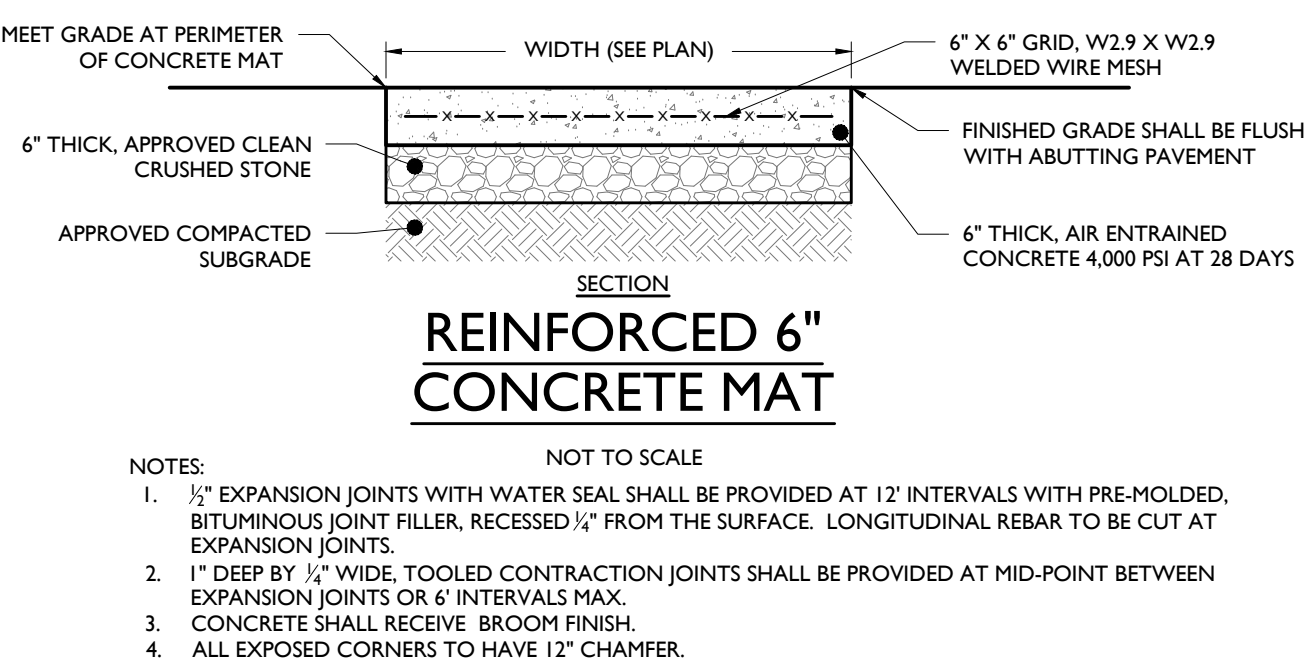
FLUSH OPENING DIMENSIONS		
A	B	C
72"	6"	12"
60"	5"	13"
48"	4"	14"
36"	3"	15"



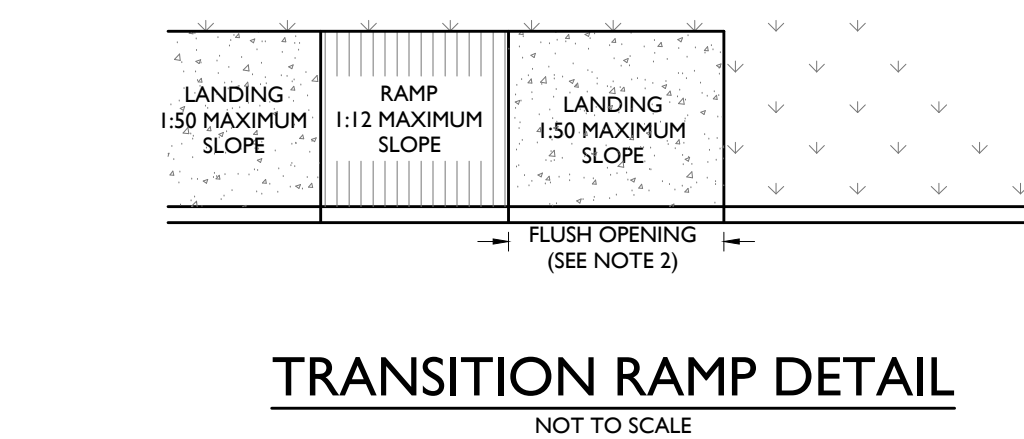
NOTES:  
1. MAXIMUM CROSS SLOPE SHALL BE 1/4" PER FOOT.  
2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12" INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM THE SURFACE.  
3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.  
4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.



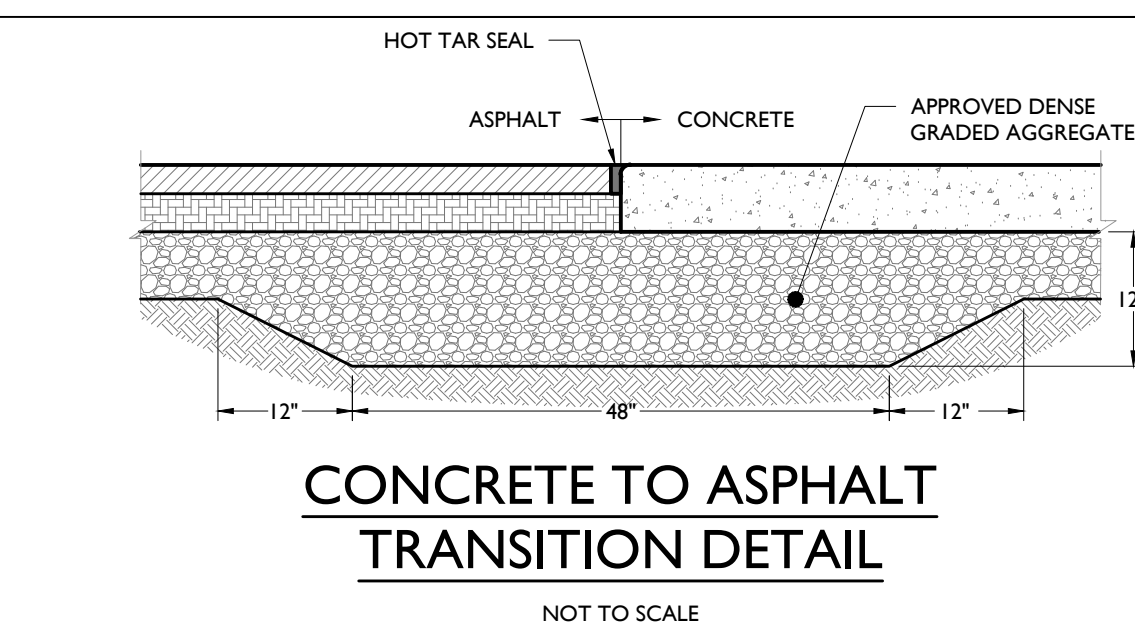
NOTE:  
1. HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.  
2. CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR PAVEMENT CROSS SECTION.



NOTES:  
1. 1/2" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 12" INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM THE SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.  
2. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS OR 6' INTERVALS MAX.  
3. CONCRETE SHALL RECEIVE BROOM FINISH.  
4. ALL EXPOSED CORNERS TO HAVE 12" CHAMFER.



NOTES:  
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%.  
2. A FLUSH OPENING SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.  
3. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.



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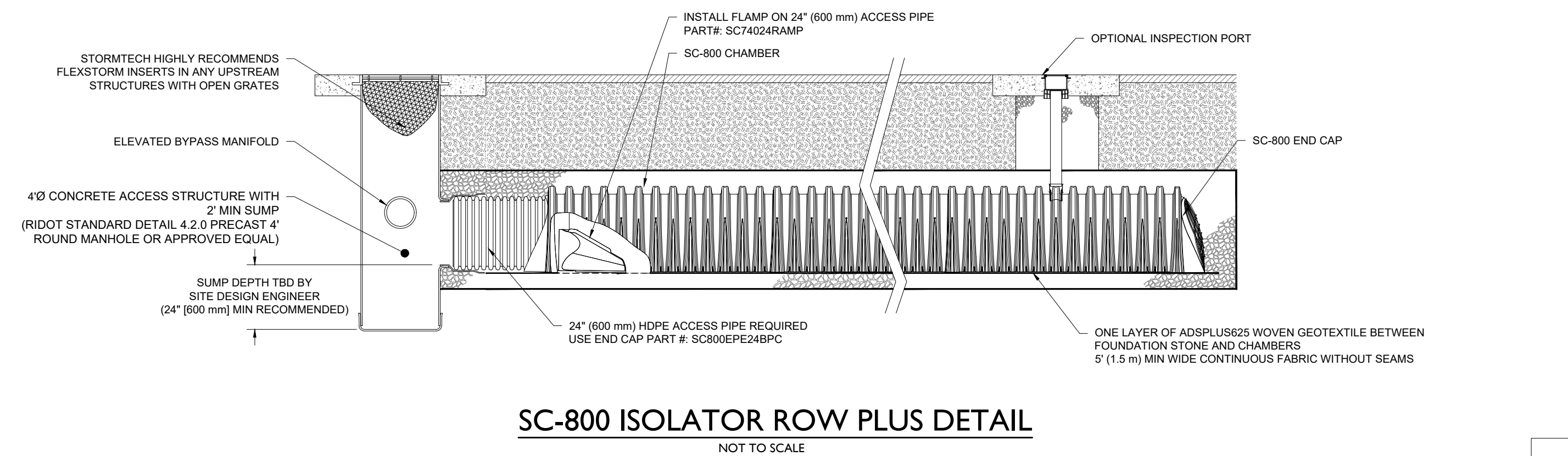
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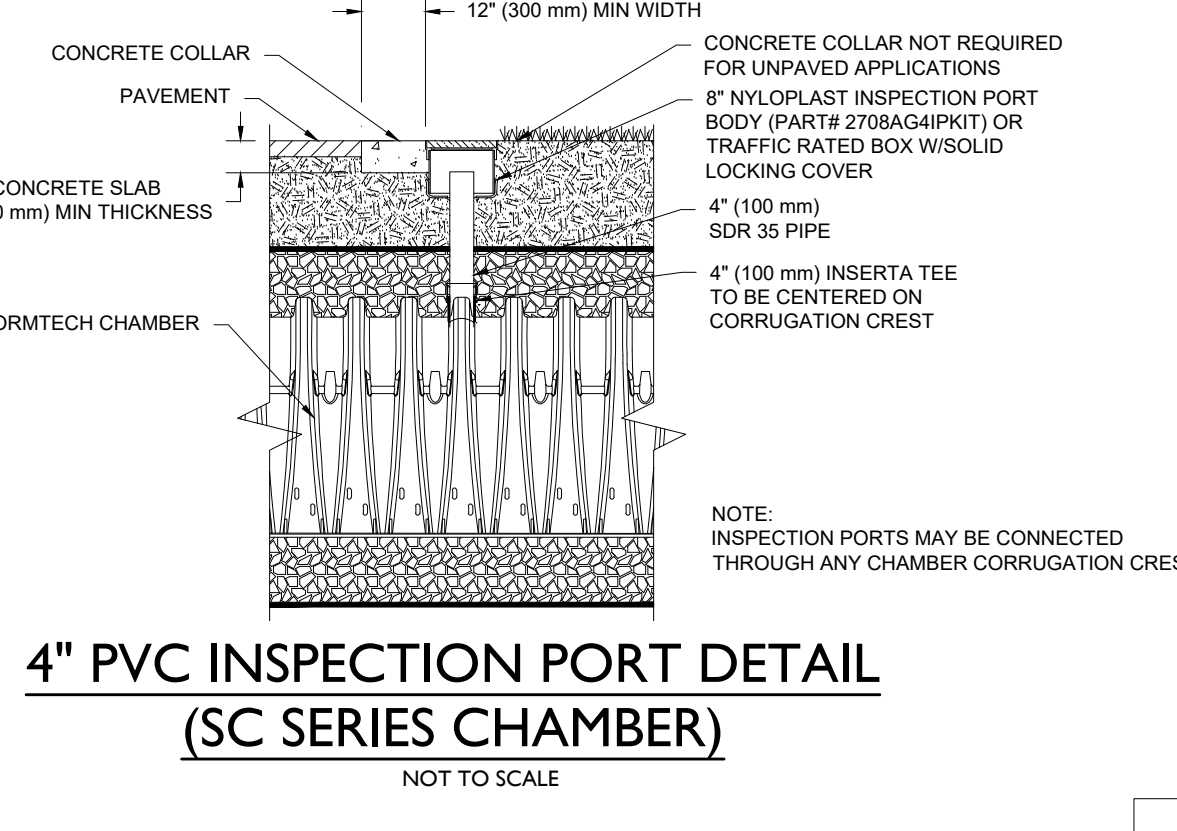
TITLE:  
**CONSTRUCTION DETAILS**

DRAWING:  
**C-14**

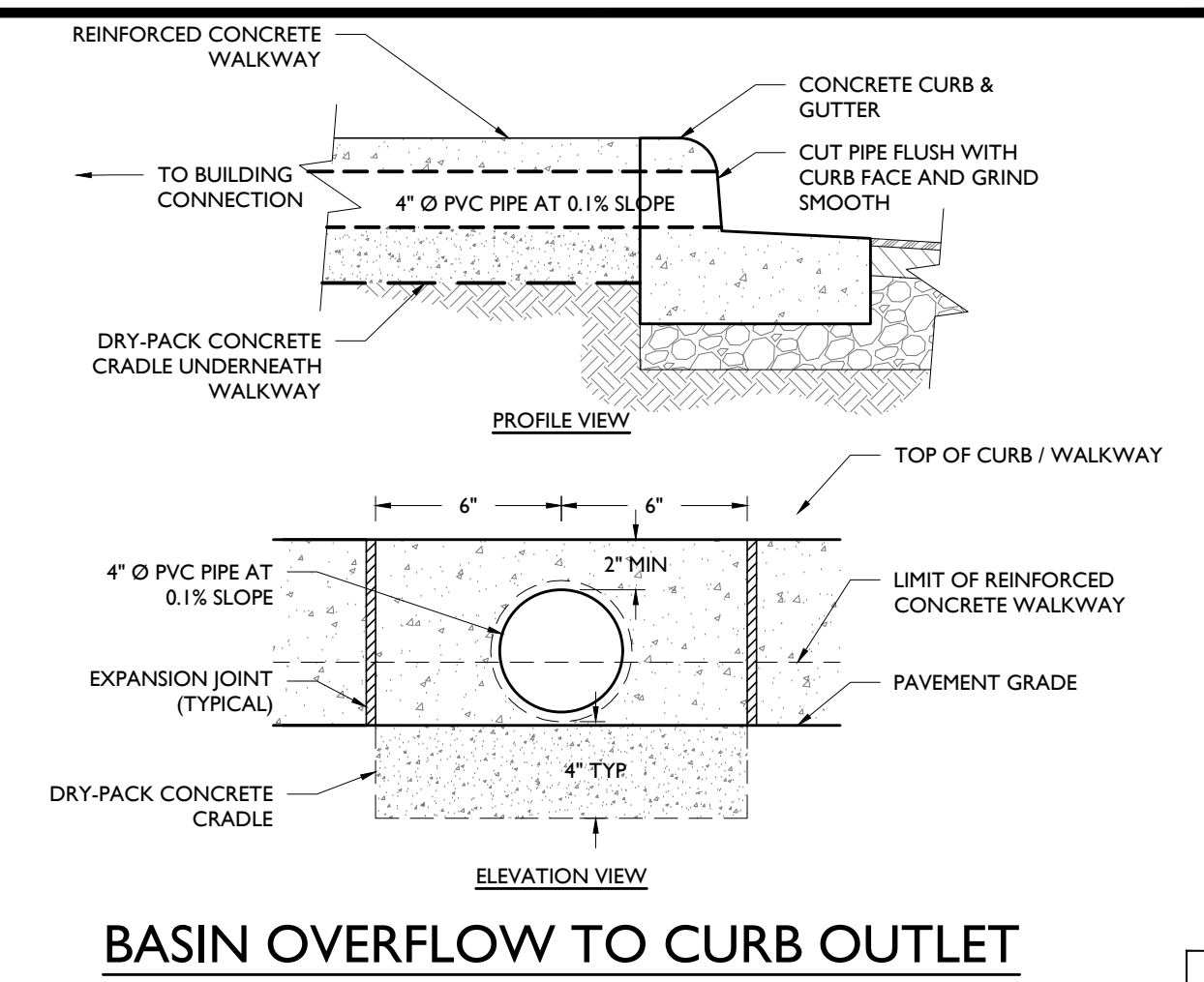
24/07/2025 09:52:00 2501 2501 297 DEXTER STREET, PROVIDENCE, RI 02903 11.DWG



**SC-800 ISOLATOR ROW PLUS DETAIL**  
NOT TO SCALE



**4" PVC INSPECTION PORT DETAIL (SC SERIES CHAMBER)**  
NOT TO SCALE

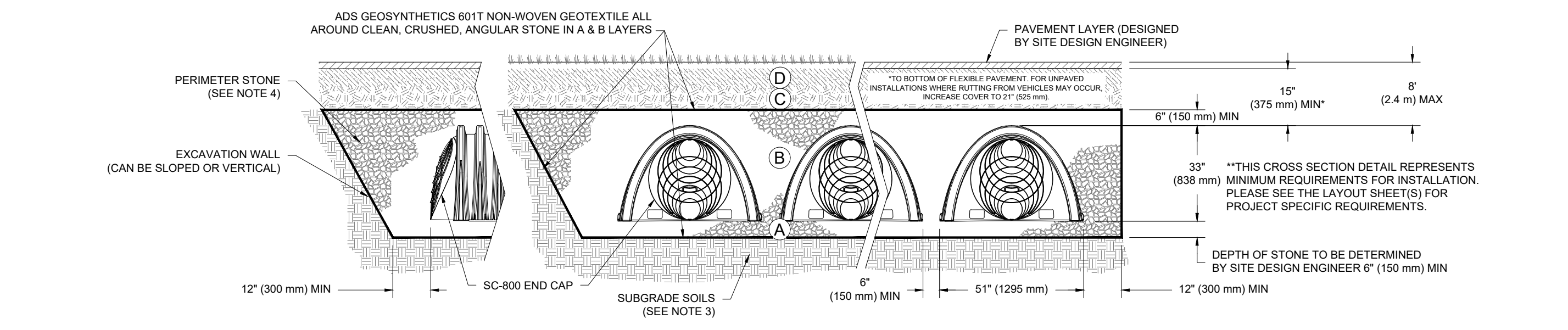


**BASIN OVERFLOW TO CURB OUTLET**  
NOT TO SCALE

**ACCEPTABLE FILL MATERIALS: STORMTECH SC-800 CHAMBER SYSTEMS**

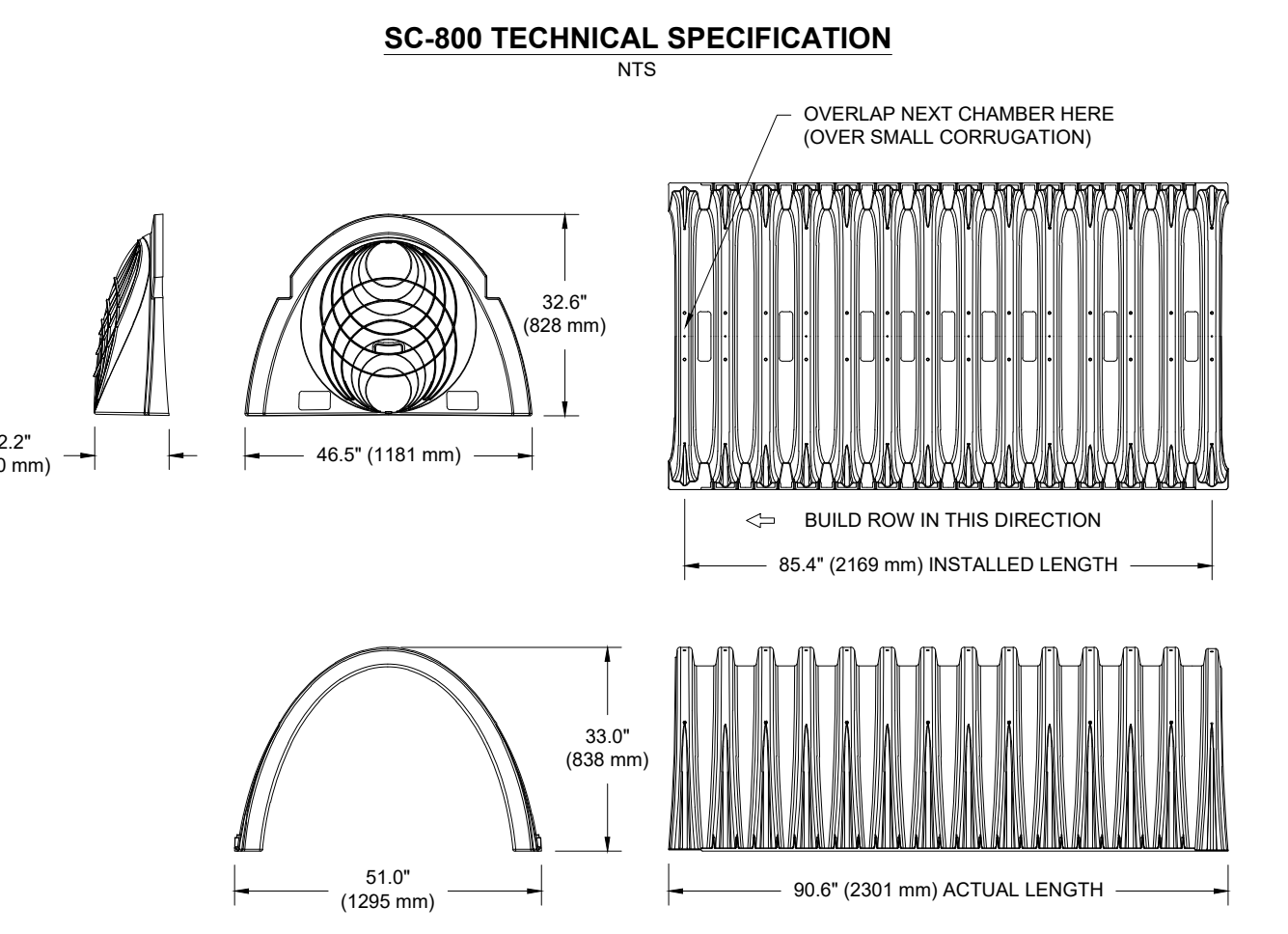
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 15" (375 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. OR MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE <sup>2</sup>	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE <sup>2</sup>	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. <sup>2,3</sup>

PLEASE NOTE:  
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE."  
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERS WITH A VIBRATORY COMPACTOR.  
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.  
 4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.  
 5. WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".



**SC-800 CROSS SECTION DETAIL**  
NOT TO SCALE

**NOTES:**  
 1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".  
 2. SC-800 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".  
 3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.  
 4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.  
 5. REQUIREMENTS FOR HANDLING AND INSTALLATION:  
 • TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.  
 • TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".  
 • TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 550 LBS/FT<sup>2</sup>. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.



**NOMINAL CHAMBER SPECIFICATIONS**  
 SIZE (W X H X INSTALLED LENGTH) 51.0" X 33.0" X 85.4" (1296 mm X 838 mm X 2169 mm)  
 CHAMBER STORAGE 50.6 CUBIC FEET (1.43 m<sup>3</sup>)  
 MINIMUM INSTALLED STORAGE\* 81.0 CUBIC FEET (2.29 m<sup>3</sup>)  
 WEIGHT 81.8 lbs. (37.1 kg)

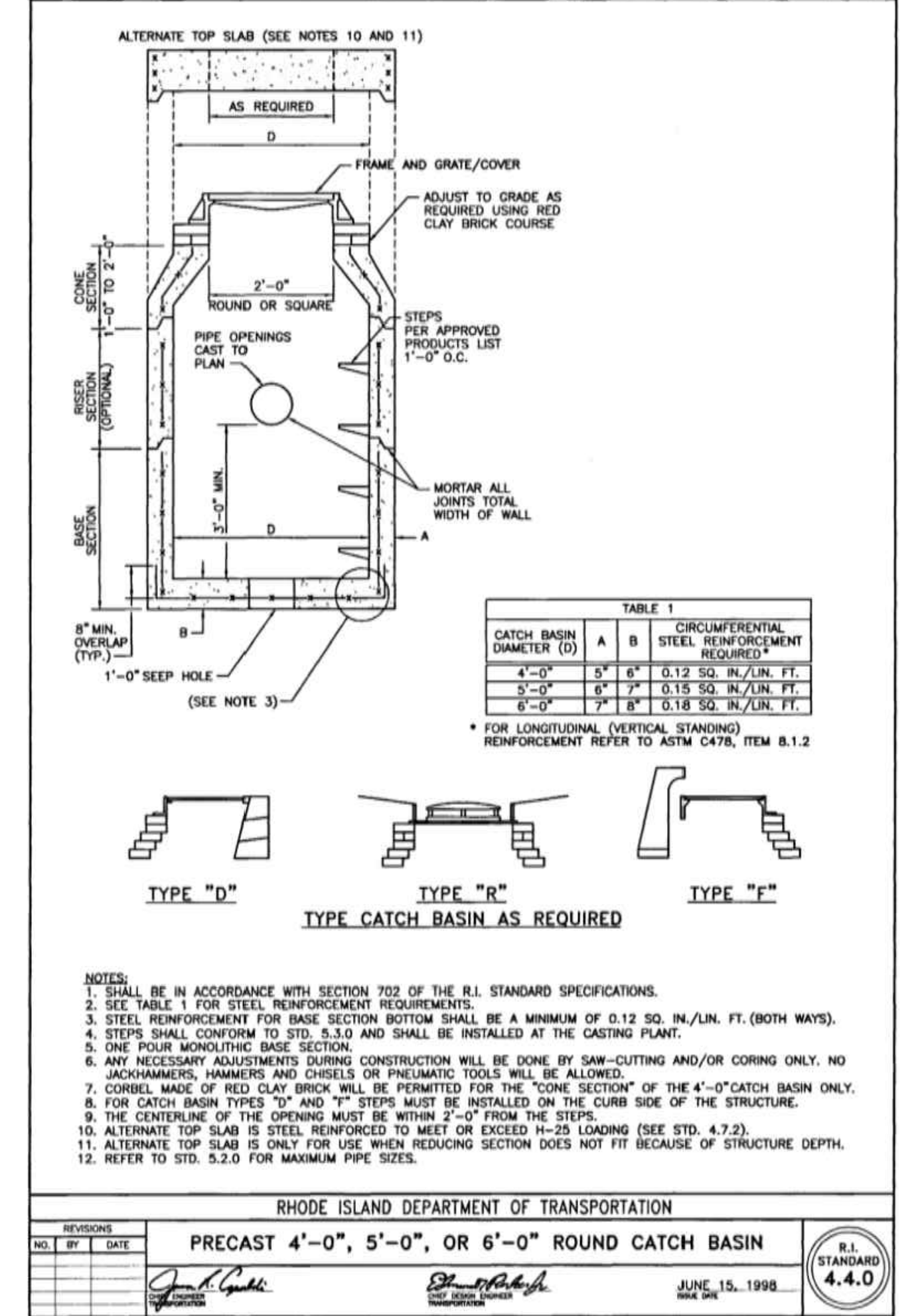
**NOMINAL END CAP SPECIFICATIONS**  
 SIZE (W X H X INSTALLED LENGTH) 46.5" X 32.6" X 10.5" (1181 mm X 828 mm X 267 mm)  
 END CAP STORAGE 3.4 CUBIC FEET (0.43 m<sup>3</sup>)  
 MINIMUM INSTALLED STORAGE\*\* 15.4 CUBIC FEET (0.43 m<sup>3</sup>)  
 WEIGHT 15.7 lbs. (7.1 kg)

\*\* ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS  
 \*\*\* ASSUMES 6" (152 mm) STONE ABOVE AND BELOW END CAPS, 6" (152 mm) BETWEEN ROWS, 12" (305 mm) BEYOND END CAPS

PART #	STUB	B	C
SC800EP08TPC	6" (150 mm)	21.4" (544 mm)	—
SC800EP08BPC	—	—	0.9" (23 mm)
SC800EP10TPC	8" (200 mm)	19.2" (488 mm)	—
SC800EP10BPC	—	—	1.0" (25 mm)
SC800EP12TPC	10" (250 mm)	17.0" (432 mm)	—
SC800EP12BPC	—	—	1.2" (30 mm)
SC800EP14TPC	12" (300 mm)	14.4" (366 mm)	—
SC800EP14BPC	—	—	1.6" (41 mm)
SC800EP15TPC	15" (375 mm)	11.3" (287 mm)	—
SC800EP15BPC	—	—	1.7" (43 mm)
SC800EP18TPC	18" (450 mm)	8.0" (203 mm)	—
SC800EP18BPC	—	—	2.0" (51 mm)
SC800EP24BPC	24" (600 mm)	—	2.3" (58 mm)
SC800EPC	NONE	—	SOLID END CAP

NOTE: ALL DIMENSIONS ARE NOMINAL

**SC-800 TECHNICAL SPECIFICATIONS**  
NOT TO SCALE



**RHODE ISLAND DEPARTMENT OF TRANSPORTATION**  
**PRECAST 4'-0", 5'-0", OR 6'-0" ROUND CATCH BASIN**  
 R.I. STANDARD 4.4.0  
 JUNE 15, 1998

**INSPECTION & MAINTENANCE**

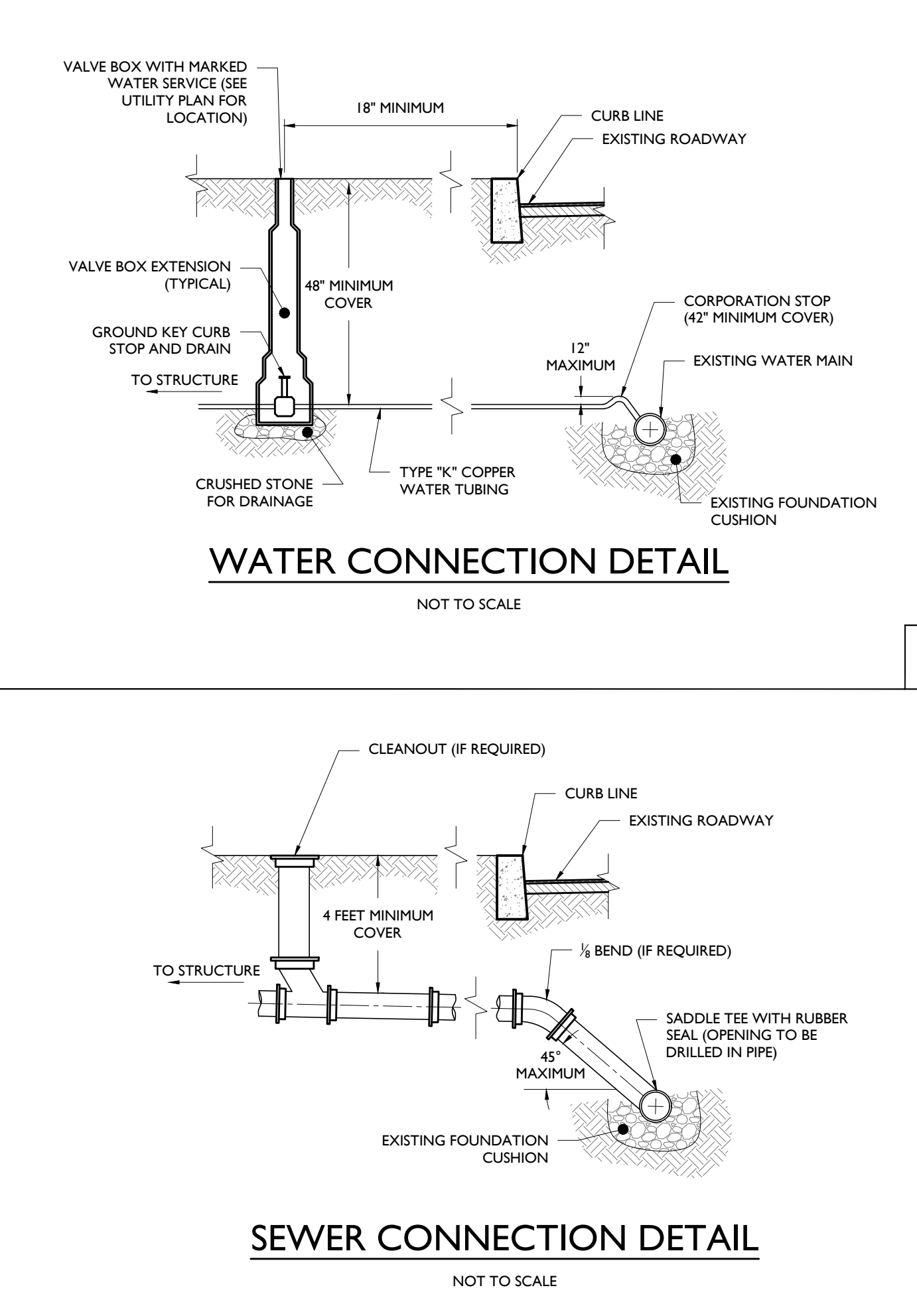
STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT  
 A. INSPECTION PORTS (IF PRESENT)  
 A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN  
 A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED  
 A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG  
 A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)  
 A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.  
 B. ALL ISOLATOR ROW PLUS ROWS  
 B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS  
 B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE  
 i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY  
 ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE  
 B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS  
 A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED  
 B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN  
 C. VACUUM STRUCTURE SUMP AS REQUIRED

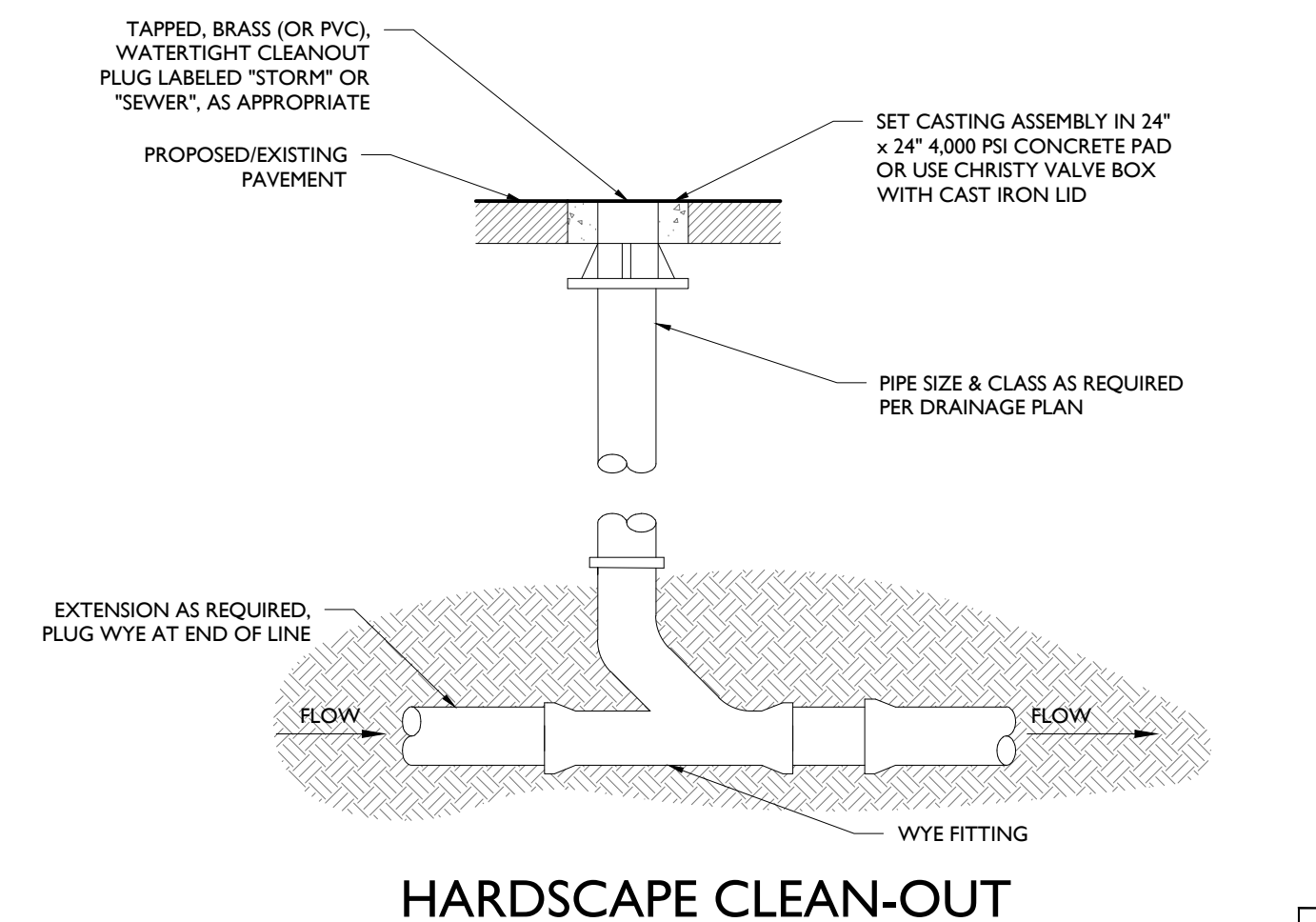
STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

**NOTES**  
 1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.  
 2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



**SEWER CONNECTION DETAIL**  
NOT TO SCALE



**HARDSCAPE CLEAN-OUT**  
NOT TO SCALE

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MINOR LAND DEVELOPMENT PLAN

**297 DEXTER STREET HOLDINGS, LLC**

**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

A.P. 31, LOTS 125, 523, 534 & 525  
 RECORD LOTS 65, 67, 68, 69  
 309 DEXTER STREET  
 CITY OF PROVIDENCE  
 PROVIDENCE COUNTY, RHODE ISLAND

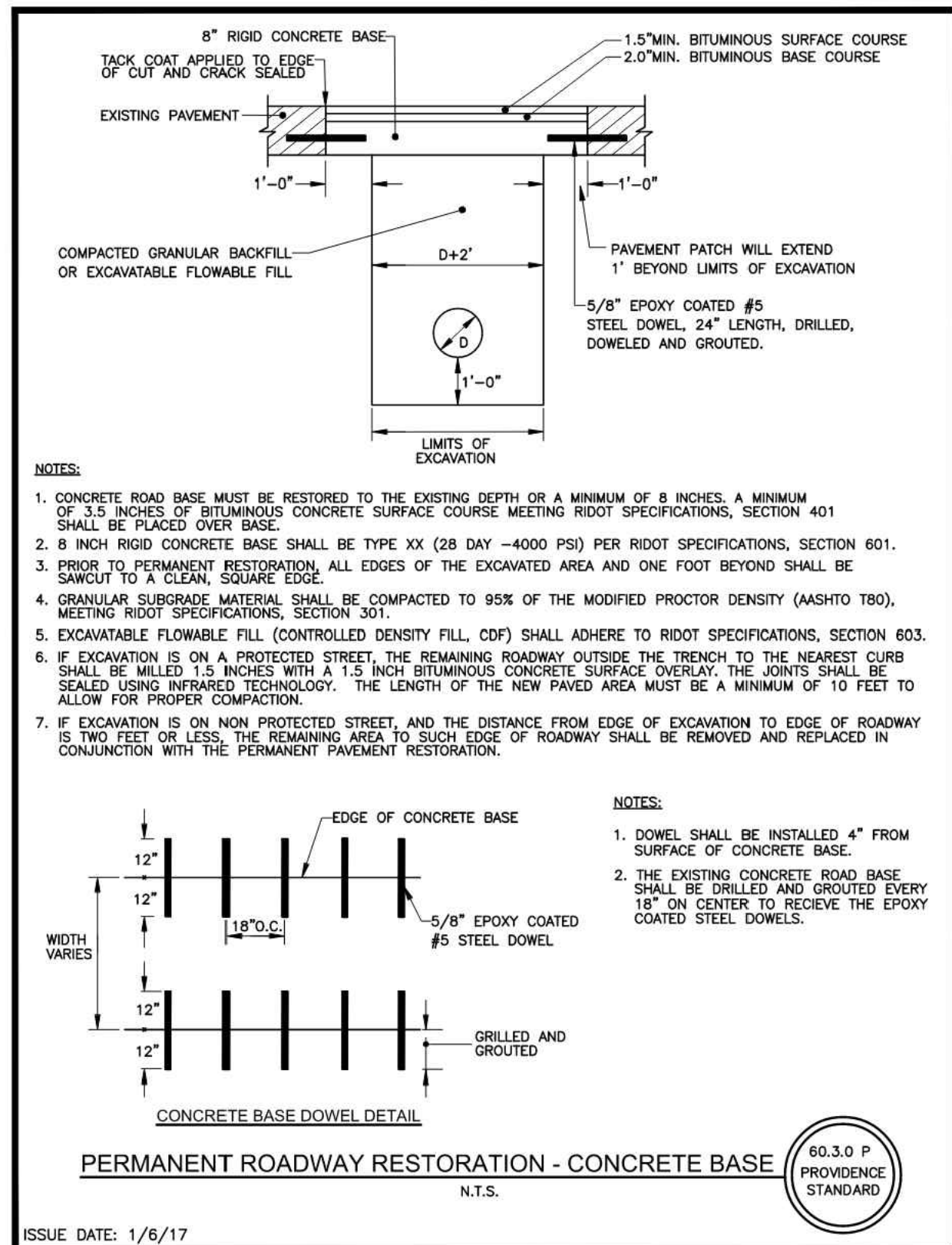
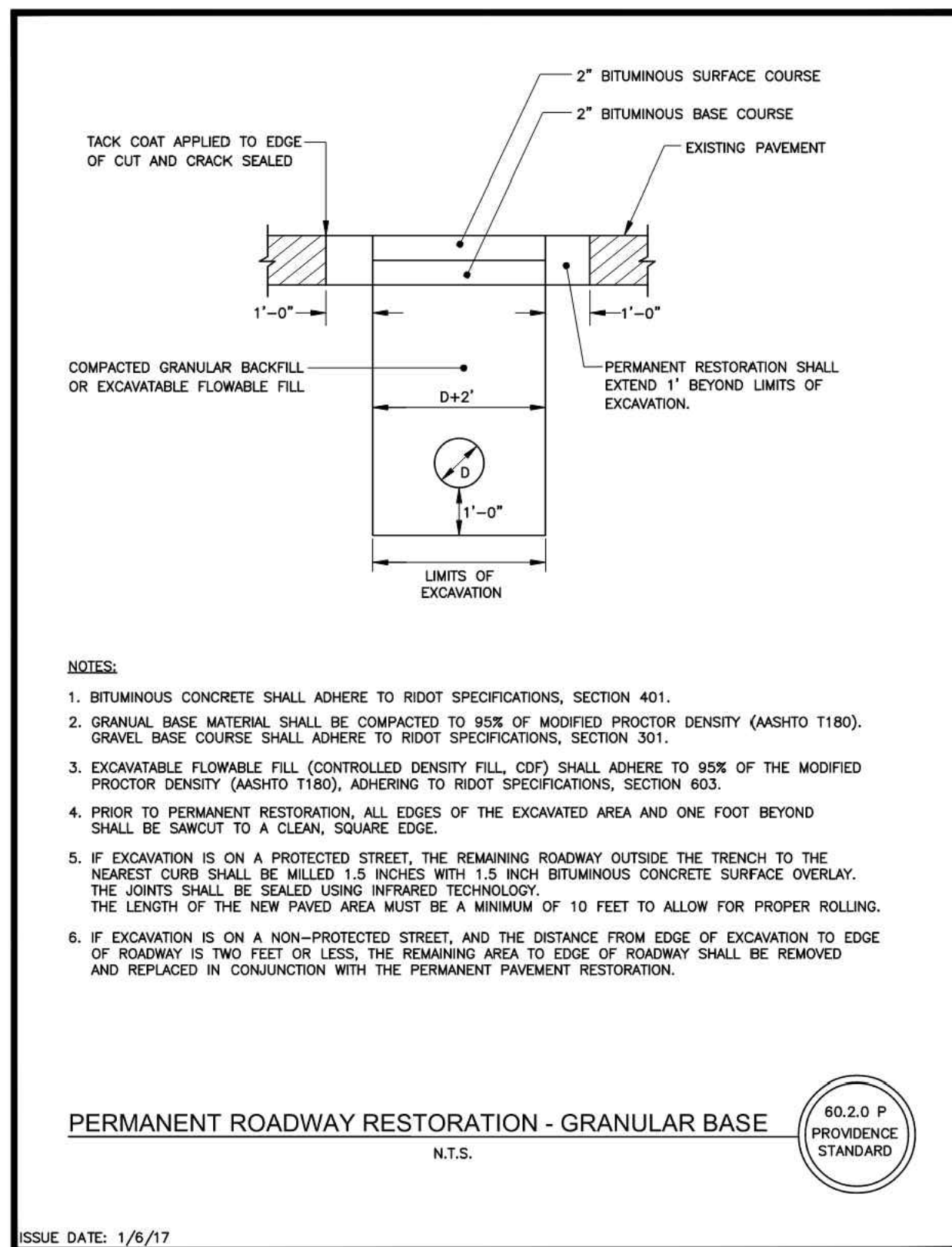
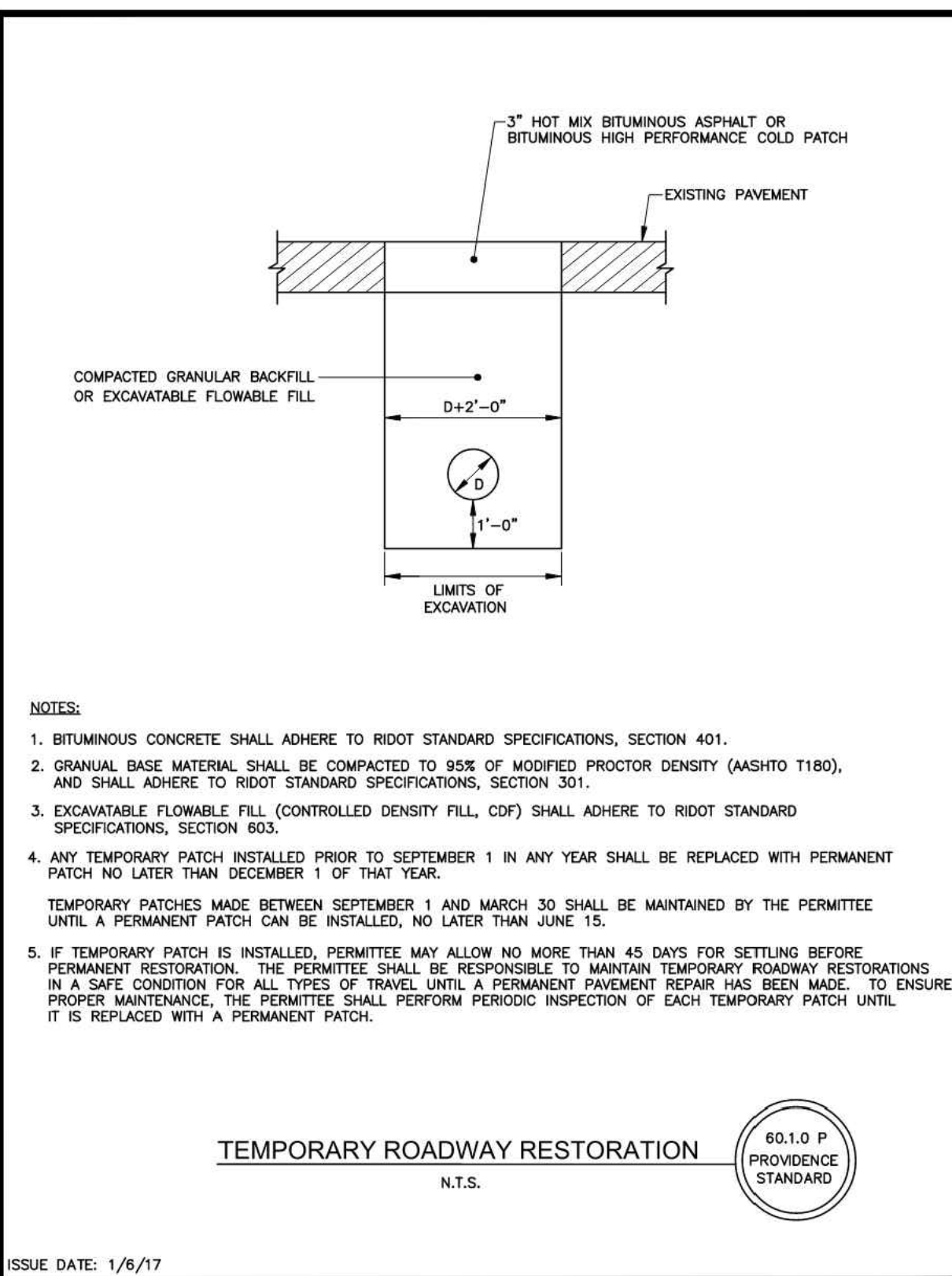
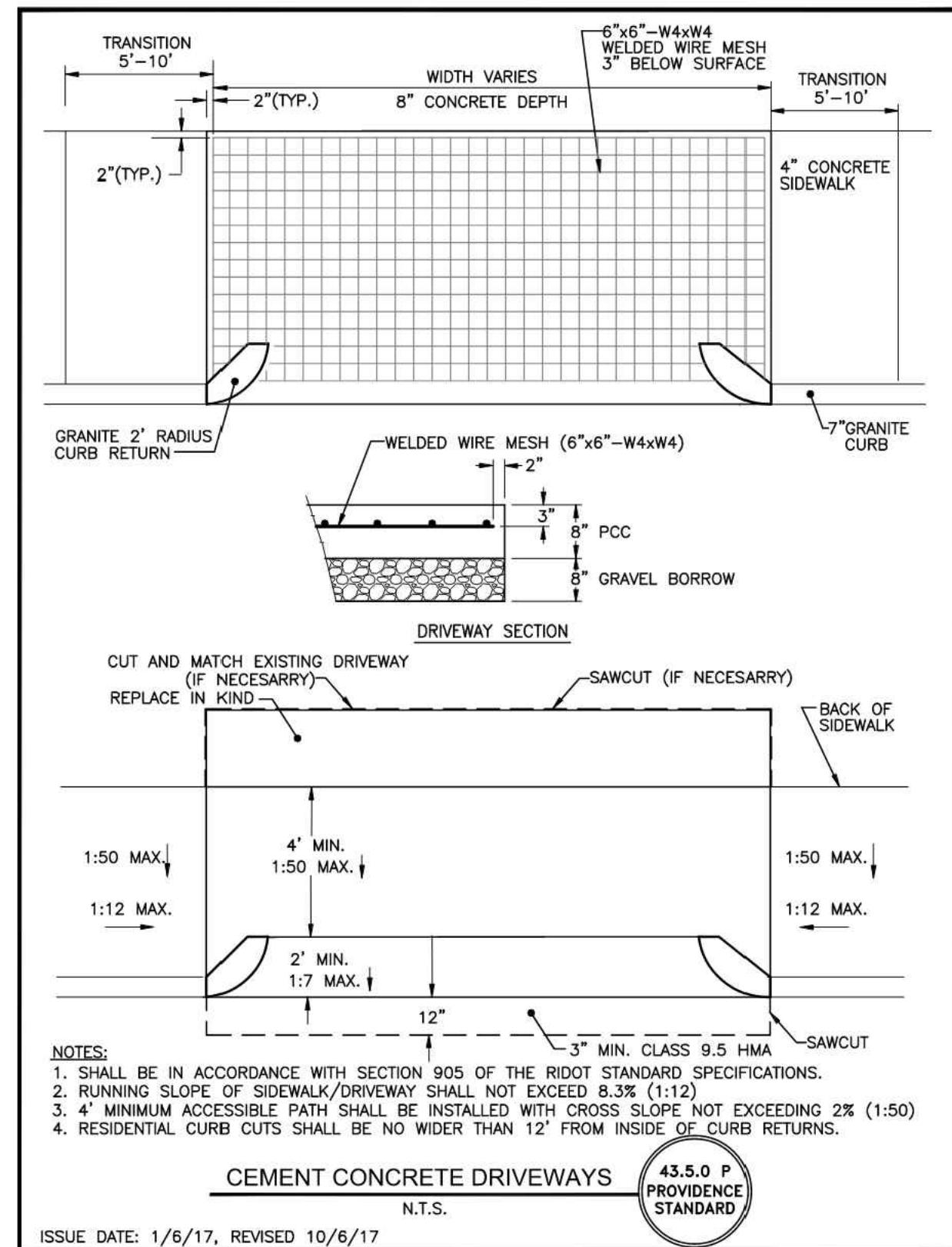
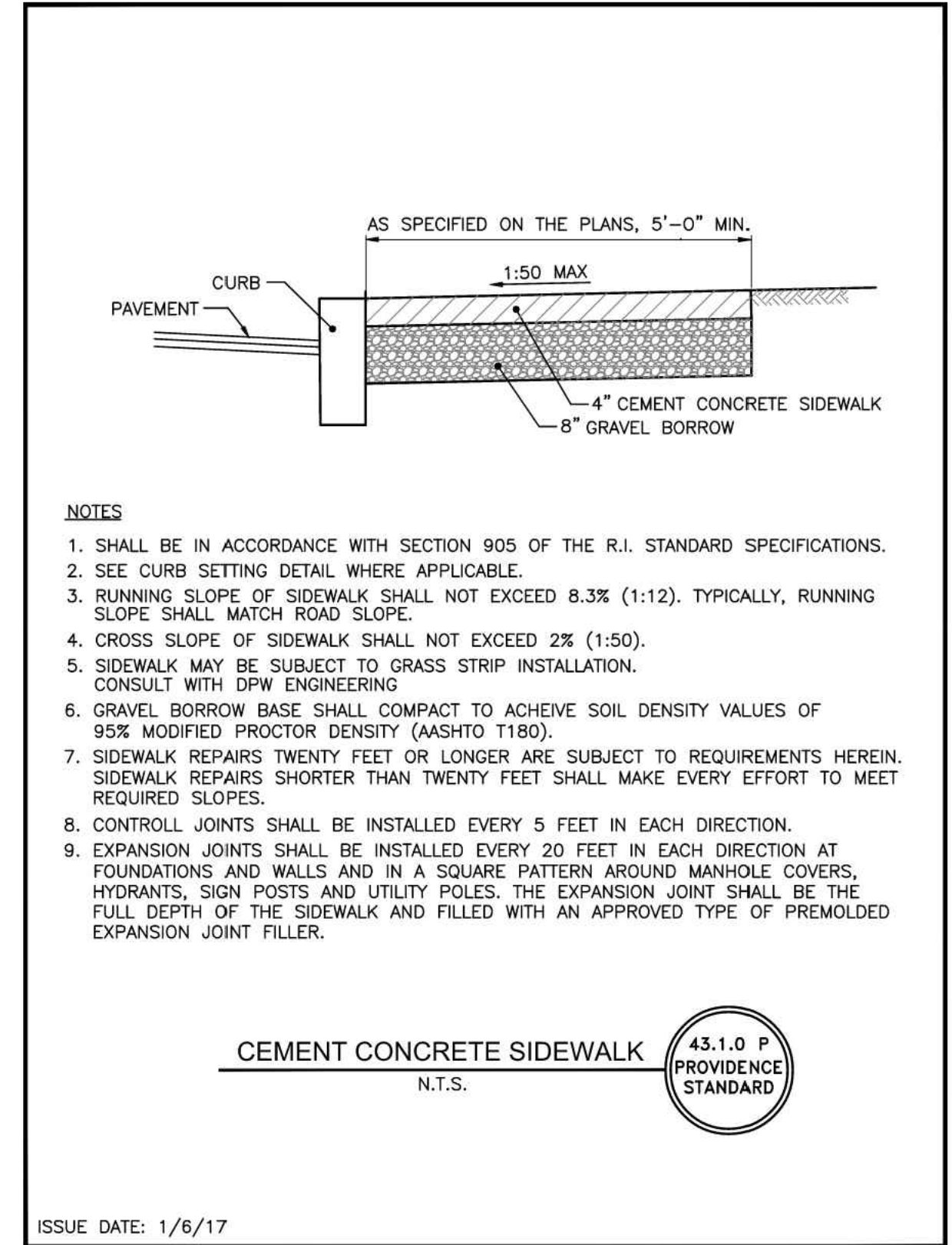
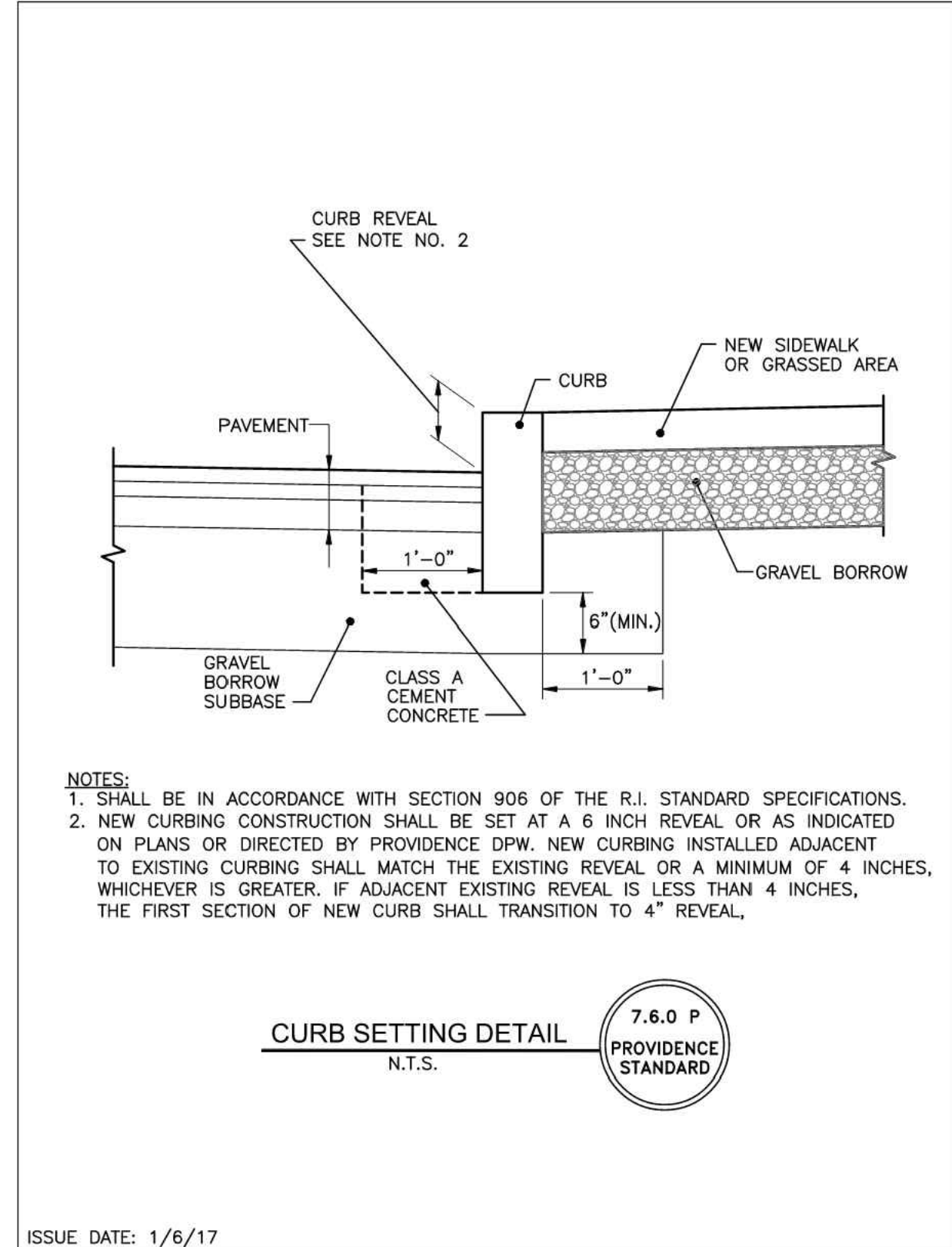
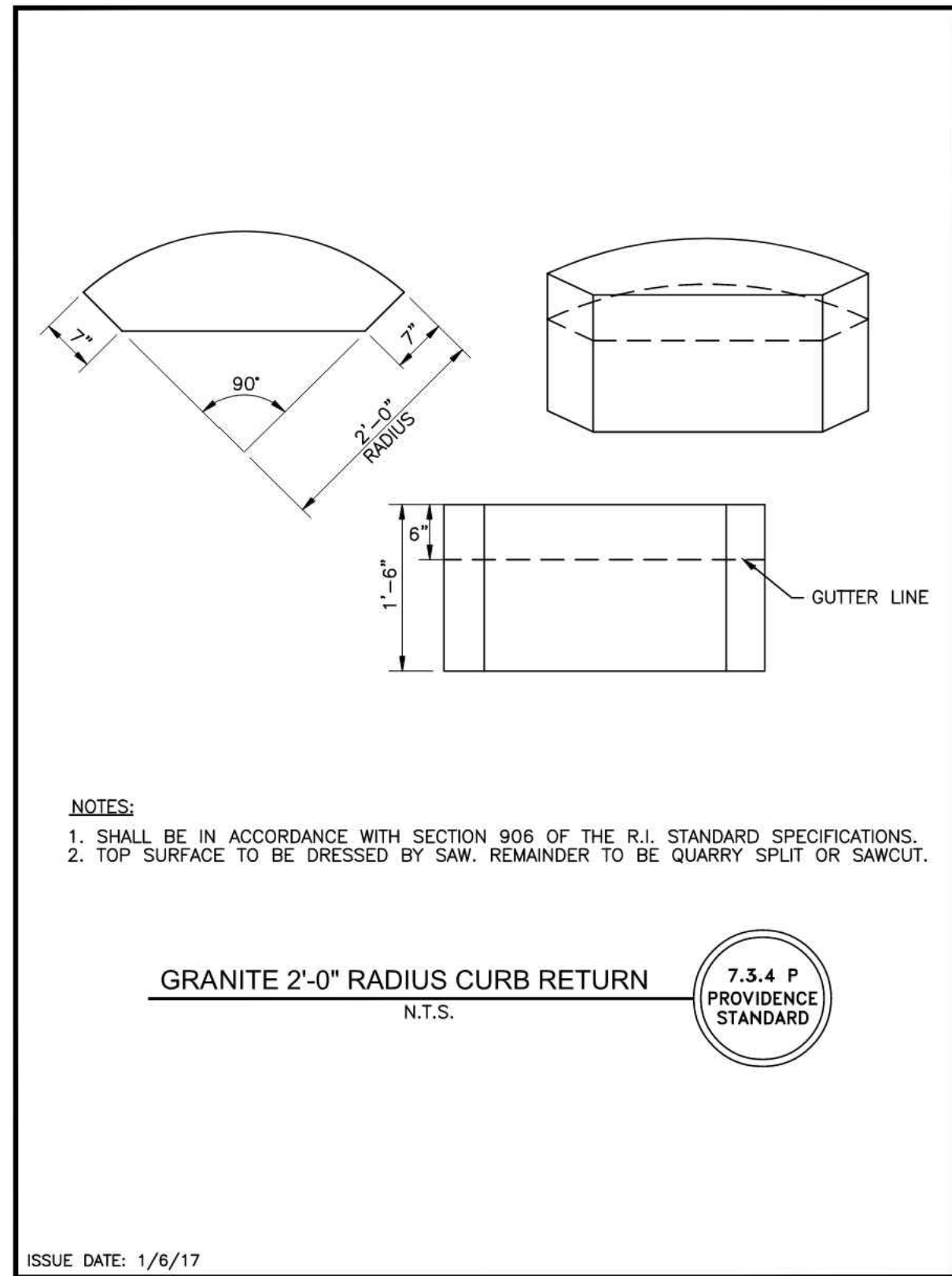
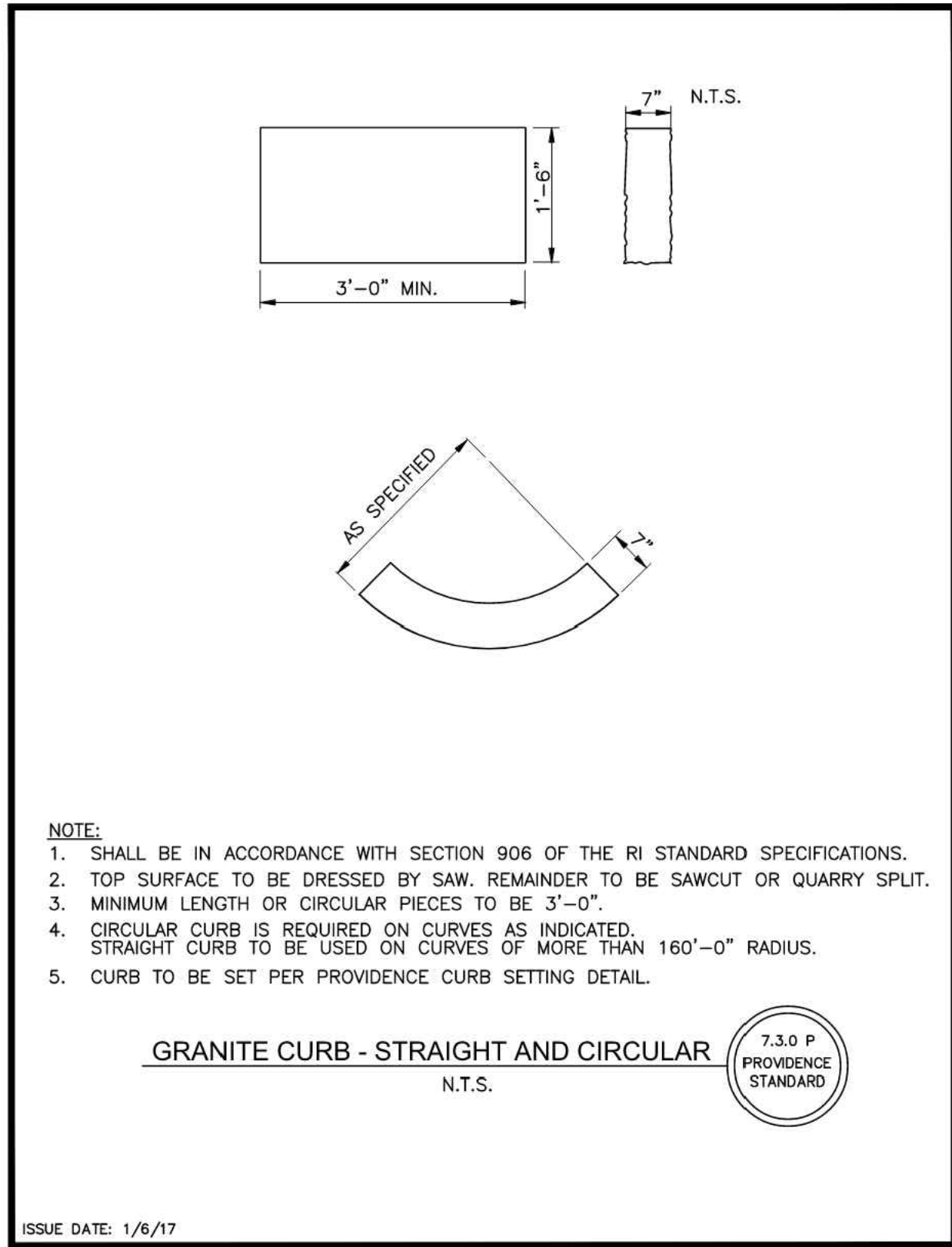
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JOSHUA H. KLINE, P.E.  
 RHODE ISLAND LICENSE NO. 13607  
 LICENSED PROFESSIONAL ENGINEER

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TITLE:  
**CONSTRUCTION DETAILS**

DRAWING:  
**C-15**



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**MINOR LAND DEVELOPMENT PLAN**

**297 DEXTER STREET HOLDINGS, LLC**

**PROPOSED MULTI-FAMILY  
 RESIDENTIAL DEVELOPMENT**

AP 311 LOTS 125, 523, 524 & 525  
 RECORD LOTS 665, 671, 686, 69  
 309 DEXTER STREET  
 CITY OF PROVIDENCE  
 PROVIDENCE COUNTY, RHODE ISLAND

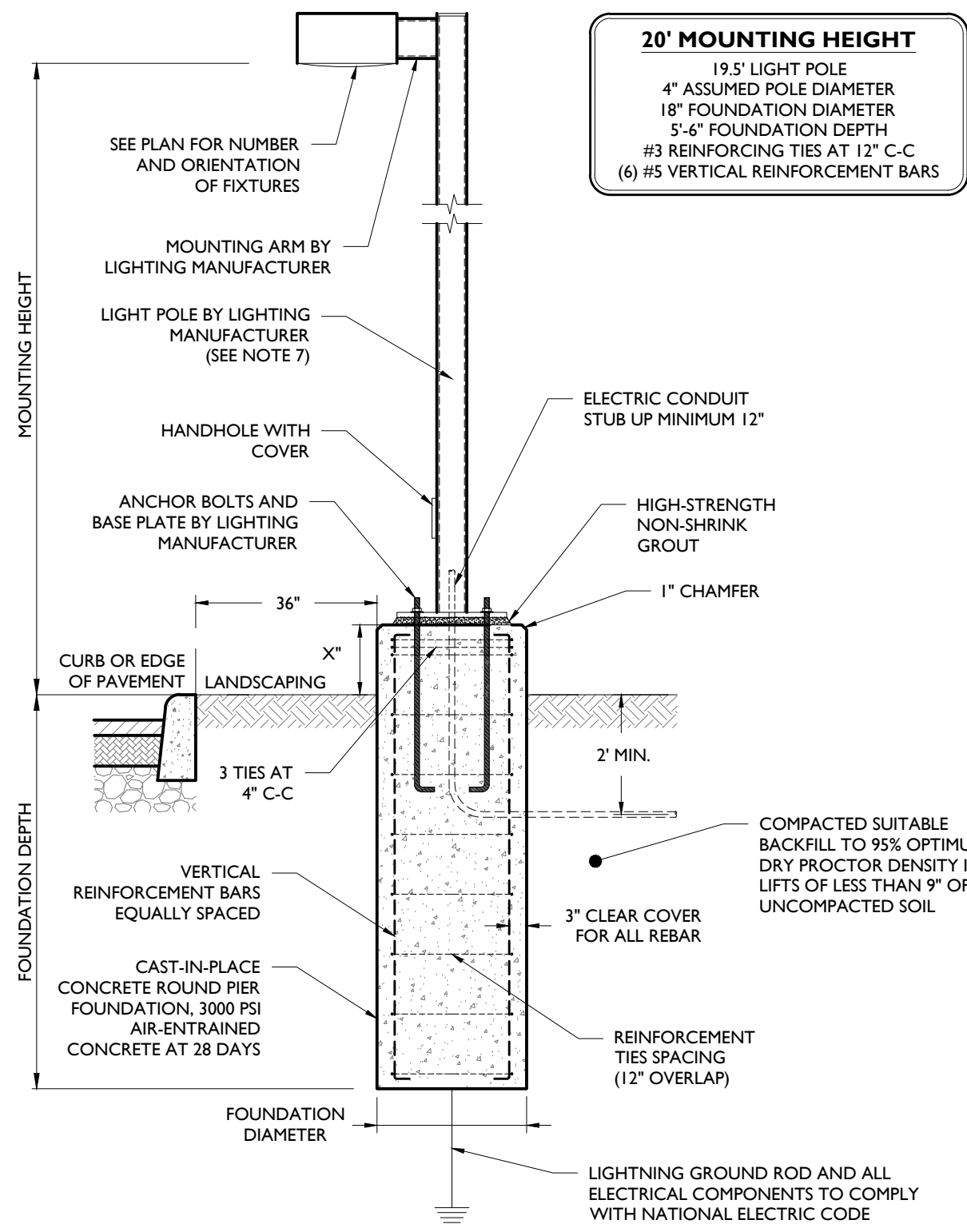
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TITLE: **CONSTRUCTION  
 DETAILS**

DRAWING: **C-16**





**LIGHT POLE INSTALLATION DETAIL**

- NOTES:
- MINIMUM SOIL BEARING PRESSURE OF 1500 PSF, SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
  - CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
  - ALL REBAR TO BE NEW GRADE 60 STEEL.
  - PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
  - CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. Poured concrete mix required to obtain 80% of design strength prior to installing light pole. Concrete shall have a maximum slump of 4" (within 1" tolerance).
  - POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED ON ANSICANCE 7-93.
  - FOUR TO BE TERMINATED AT A FORM.
  - WORK SHALL CONFORM TO ACI BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
  - CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.

Catalog #: \_\_\_\_\_ Project: \_\_\_\_\_  
 Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_ Type: \_\_\_\_\_

**XSPS LED Soffit Light**



OVERVIEW	
Lumen Package	4000 - 8000
Wattage Range	43 - 99
Efficacy Range (LPW)	96 - 104
Weight (lbs (kg))	7.6 (3.5)

**QUICK LINKS**

- Ordering Guide
- Performance
- Photometrics
- Dimensions

**FEATURES & SPECIFICATIONS**

- Construction**
- Housing is die-formed aluminum with diffuse acrylic lens providing a water-resistant seal. Enclosure contains factory prewired driver and optical unit containing LEDs.
  - Recess mount into an enclosed soffit with screws through the mounting frame. 8" clearance required for ease of installation.
  - Finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling, and is guaranteed for five full years. Standard color is gloss white.
  - Shipping weight: 7.6 lbs in carton.
  - Suitable for wet locations.
- Optical System**
- Symmetric distribution with excellent uniformity and a BUG rating of B2-UO-G1. Diffuse lens is standard to minimize visibility of LEDs.
  - Select high-brightness LEDs.
  - Available in 5000K, 4000K and 3000K
  - Color temperatures per ANSI C78.377.
  - Minimum CRI of 80.
- Electrical**
- High-performance factory programmable driver features over-voltage, under-voltage, short-circuit and over-temperature protection with integral surge protection that meets IEEE C62.41.2 and ANSI C82.77 -5 Location Category C Low standards.
  - 0-10 volt dimming (10% - 100%) standard.
  - 120-247VAC 50/60Hz
  - Thermal protector standard on 5000-8000 lumen versions.
  - L80 Calculated Life: >100K Hours (See Lumen Maintenance chart)
  - Total harmonic distortion: <20%
  - Operating temperature: -40°C to 40°C (-40°F to 104°F) for HQ and VHO. -40°C to 45°C (40°F to 113°F) for SS. -40°C to 35°C (-40°F to 95°F) for SHO.
  - Power factor: >0.90
  - Input power stays constant over life.
  - High-efficiency LEDs with integrated circuit board mount to the housing to maximize heat dissipation and promote long life.
  - Driver components are fully encased in potting material for moisture resistance. Driver complies with FCC standards.
- Warranty**
- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.
  - Listed to UL 1598 and UL 8750
  - Suitable For Damp Locations
  - Meets Buy American Act requirements.
  - DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/DPL](http://www.designlights.org/DPL) to confirm which versions are qualified.
  - IDA compliant with 3000K or lower color temperature.

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Catalog #: \_\_\_\_\_ Project: \_\_\_\_\_  
 Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_ Type: \_\_\_\_\_

**ORDERING GUIDE**

TYPICAL ORDER EXAMPLE: **XSPS S LED SS CW 120 GWT DFL**

Prefix	Distribution	Light Source	Drive Current	Color Temperature	Input Voltage	Finish	Lens	Options
XSPS - LED Soffit	S - Symmetric	LED	SS - 4000 Lumens VHO - 1,000 Lumens	CW - 5000K 80 CRI WW - 4000K 80 CRI	120 - 120V 240 - 240V 277 - 277V 347 - 347V	GWT - Gloss White	DFL - Diffuse Acrylic Lens	DMT - Channel Bar Mounting Kit EB - Emergency Battery Pack

1 - Emergency Battery Pack only available on the SS - 4000 lumen version (120, 240 & 277V versions).

**PERFORMANCE**

DELIVERED LUMENS		3000K CCT		4000K CCT		5000K CCT		Wattage								
Lumen Package	Distribution	Beam Type	Beam Angle	Delivered Lumens	Efficacy	Beam Type	Beam Angle	Delivered Lumens	Efficacy	Beam Type	Beam Angle	Delivered Lumens	Efficacy	Beam Type	Beam Angle	Wattage
SS	S	DFL	80	3816	123	B2-UO-G1	4022	129	B2-UO-G1	3966	128	B2-UO-G1	31			31
HQ	S	DFL	80	4756	120	B2-UO-G1	5011	127	B2-UO-G1	4841	125	B2-UO-G1	40			40
VHO	S	DFL	80	5733	118	B2-UO-G1	6041	124	B2-UO-G1	5857	122	B2-UO-G1	49			49
SHO	S	DFL	80	7559	113	B3-UO-G1	7965	119	B3-UO-G1	7853	118	B3-UO-G1	67			67

LEDs are frequently updated therefore values are nominal.

**Electrical Data (Amperes)\***

Lumen Package	Wattage	120V	208V	240V	277V	347V
SS	31	0.26	0.15	0.13	0.11	0.09
HQ	40	0.33	0.19	0.16	0.14	0.11
VHO	49	0.41	0.23	0.2	0.18	0.14
SHO	67	0.56	0.32	0.28	0.24	0.19

\*Electrical data at 25C (77F). Actual voltage may differ by +/-10%.

**RECOMMENDED LUMEN MAINTENANCE**

Ambient Temp C	Initial*	25K hrs.*	50K hrs.*	75K hrs.*	100K hrs.*
25 C	100%	95%	91%	89%	85%

- In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on test durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.
- In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times the IESNA LM-80-08 total test duration for the device under testing.

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**RECESSED CEILING LIGHT FIXTURE 'C' SPECIFICATIONS**

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2

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MINOR LAND DEVELOPMENT PLAN

**297 DEXTER STREET HOLDINGS, LLC**

**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

A.P. 31.1 LOTS 125, 127, 124 & 125  
 RECORD LOTS 65, 67, 68, 69  
 309 DEXTER STREET  
 CITY OF PROVIDENCE  
 PROVIDENCE COUNTY, RHODE ISLAND

JOSHUA H. KLINE, P.E.  
 RHODE ISLAND LICENSE No. 13607  
 LICENSED PROFESSIONAL ENGINEER

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TITLE:  
**CONSTRUCTION DETAILS**

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