

PROJECT REVIEW

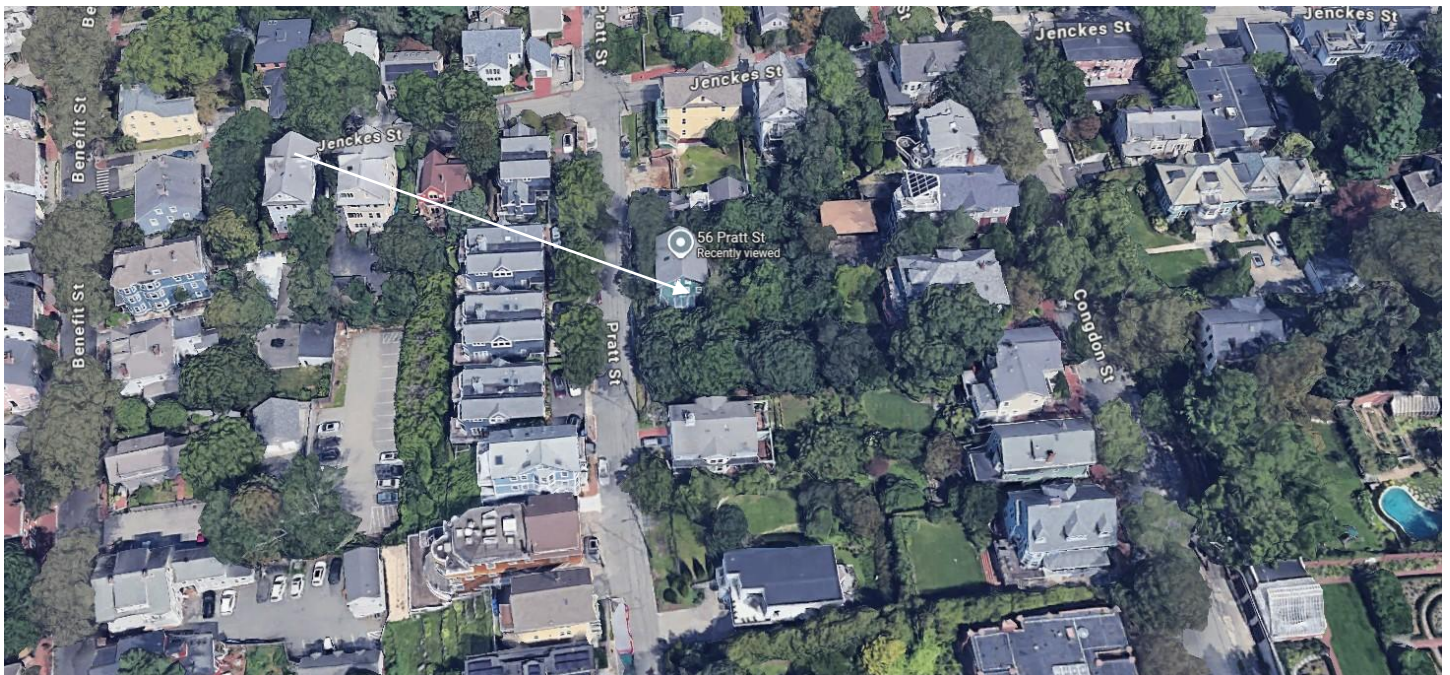
1. CASE 26.101, 56 PRATT STREET, House, 1857-75 (COLLEGE HILL)

2½-stories; end gable; clapboard; set into hill so full basement on street front; entrance on north side; greenhouse room on south side; some paired windows; attached garage.

CONTRIBUTING



Arrow indicates 56 Pratt Street.



Arrow indicates project location, looking north.

Owner: Nathaniel Sliney, 56 Pratt Street, Providence, RI 02906

Architect: David Sisson, David Sisson Architecture PC, 345 Taunton Ave, East Providence, RI 02914

Proposal: The scope of work proposed consists of New Construction and Major Alterations and includes:

- As part of the subdivision of the property into two parcels, the applicant is requesting the construction of a four-story addition to the existing building (north parcel), and a new three-story multi-family residence (south parcel).

Issues: The following issues are relevant to this application:

- This is a conceptual review.
- Staff recommends bifurcating review into two sections:
 - new construction of a three-story multi-family residence (south); and,
 - major alterations: the construction of a four-story addition to the existing building (north)

New Construction:

Issues: The following issues are relevant to this application:

- The proposed building's form and siting are appropriate for the location. Pratt Street is a location that has minimal historical context as related to its streetscape, as the majority of buildings constructed on the street are from the mid-20th century and later. The Commission has approved multiple buildings of contemporary and modern design along the street, and this proposal is compliant within that context; The street hosts two properties designed by Friedrich St. Florian, who rightly referred to the street as a "laboratory" for architectural expression;
- The proposed structure will require some fenestration along the gas modified appears to be zoning compliant; and,
- Plans and photos have been submitted.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 56 Pratt Street is a parcel that contains a structure of historical and architectural significance that contributes to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Register Historic District;
- b) The parcel shall be subdivided to allow for a vacant parcel that the new construction will be built upon;
- b) The application for New Construction is considered complete for conceptual review; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: as the proposed new construction is conceptually appropriate having determined that the proposed construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district, as Pratt Street has been identified by the Commission as a street that can support contemporary and modern architecture as the majority of properties on the street were constructed in the .

Staff recommends a motion be made stating that: The application is considered complete. 56 Pratt Street is a parcel that contains a structure of historical and architectural significance that contributes to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Register Historic District. The parcel shall be subdivided to allow for a vacant parcel that the new construction will be built upon. The Commission grants Conceptual Approval of the new construction, citing Standard 8, having determined that the proposed construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district, citing and agreeing to the recommendations in the staff report, with the applicant to return for Final Approval once the parcel has been subdivided.

Major Alterations:

Issues: The following issues are relevant to this application:

- The applicant's appeared as a Preliminary Application at the Commission's June 22nd meeting where the proposal was discussed. The Commission's the general consensus was that it was inappropriate as it is too large and needs to be subservient to the

existing house. Suggestions were to reduce the mass and also to camouflage the addition with material color to help minimize its appearance;

- The applicant has revised the drawings, and the proposal is slightly smaller in height but still too large in scale and mass. The upper floor of the addition is a full story above the historic resources' roofline. It is definitively not subservient to the historic resource;
- The submission is not zoning compliant, at minimum not conforming to section 402.A, exceeding the number of allowed stories; and,
- It is Staff's recommendation that the application be denied. The applicant must wait one-year to return to the Commission, or the applicant can return to the Commission with a materially different submission that ideally conforms to zoning as if the Commission votes and accepts that submission.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 56 Pratt Street is a structure of historical and architectural significance that contributes to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Register Historic District;
- b) The application for Major Alterations is considered complete for conceptual review;
- c) The application should be bifurcated to remove the separate proposed new construction of a three-story with cellar on the lot (lot to be subdivided), which is being reviewed separately; and,
- d) The work as proposed is not in accord with PHDC Standard 8 being architecturally and historically incompatible with the property and district having an inappropriate size, scale and form that will have an adverse effect on the property or district, as the proposed addition is not subservient to the historic resource, being too large in scale for both height and width, being a full-story above the historic resource and being wider than the existing resource.

Staff recommends a motion be made stating that: The application for 56 Pratt Street, a structure of historical and architectural significance to the College Hill local historic district, recognized as a contributing structure to the College Hill National Register Historic District is considered complete for conceptual review. The application has been bifurcated to remove the proposed separate new construction of a three-story with cellar on the lot, which is being reviewed separately. The Commission cites Standard 8 in denying the application for the proposed addition to 56 Pratt Street as it is not in accord with PHDC Standard 8, being architecturally and historically incompatible with the property and district having an inappropriate size, scale and form that will have an adverse effect on the property or district, as the proposed addition is not subservient to the historic resource, being too large in scale for both height and width, being a full-story above the historic resource and being wider than the existing resource.

1

ZONING TABLE				
MAP - 10				
LOT # 163				
BASE ZONING DISTRICT: R-2				
OVERLAY ZONING DISTRICT: HISTORIC DISTRICT				
PROPOSED USE:				
ITEM	REQUIRED	W/ 5% VARIANCE	PROVIDED	RELIEF REQUESTED?
LOT SIZE	NEW SUBDIVISIONS 5,000 SF		5,742 SF PROPOSED	NO
MINIMUM LOT WIDTH	EXISTING LOT NONE		110' EXISTING	NO
HEIGHT	NEW SUBDIVISIONS 50'		57.96' PROPOSED	NO
MAX BUILDING COVERAGE	45' NOT MORE THAN 3 STORY		45' / 3 STORY MAX PROPOSED	NO
MAX IMPERV. SURFACE COVERAGE	45% (2,584 SF)		887 SF EXISTING	NO
MIN PERV. SURFACE COVERAGE	65% (3,732 SF)		44% (2,526 SF) PROPOSED	NO
MAX IMPERV. FRONT YARD COVERAGE	1,000 SF		34.1% (1,961 SF) EXISTING	NO
MAX IMPERV. REAR YARD COVERAGE	33% (NA)		59% (3,391 SF) PROPOSED	NO
FRONT SETBACK	50% (824 SF)		3,781 SF EXISTING	NO
REAR SETBACK	3.8' (AVERAGE WITHIN 100')		2,351 SF PROPOSED	NO
SIDE SETBACK	30'	28.5'	N/A - NO FRONT YARD	NO
SIDE SETBACK	6'	5.7'	14.2% (571 SF) EXISTING	NO
SIDE SETBACK	6'	5.7'	4.7% (77 SF) PROPOSED	NO
SIDE SETBACK	6'	5.7'	0' - 0' EXISTING	NO
SIDE SETBACK	6'	5.7'	72.6' EXISTING	NO
SIDE SETBACK	6'	5.7'	28' - 6' PROPOSED	NO
SIDE SETBACK	6'	5.7'	7' - 2' EXISTING	NO
SIDE SETBACK	6'	5.7'	6' - 0' PROPOSED	NO
SIDE SETBACK	6'	5.7'	16' - 5' EXISTING	NO
SIDE SETBACK	6'	5.7'	6' - 2' PROPOSED	NO

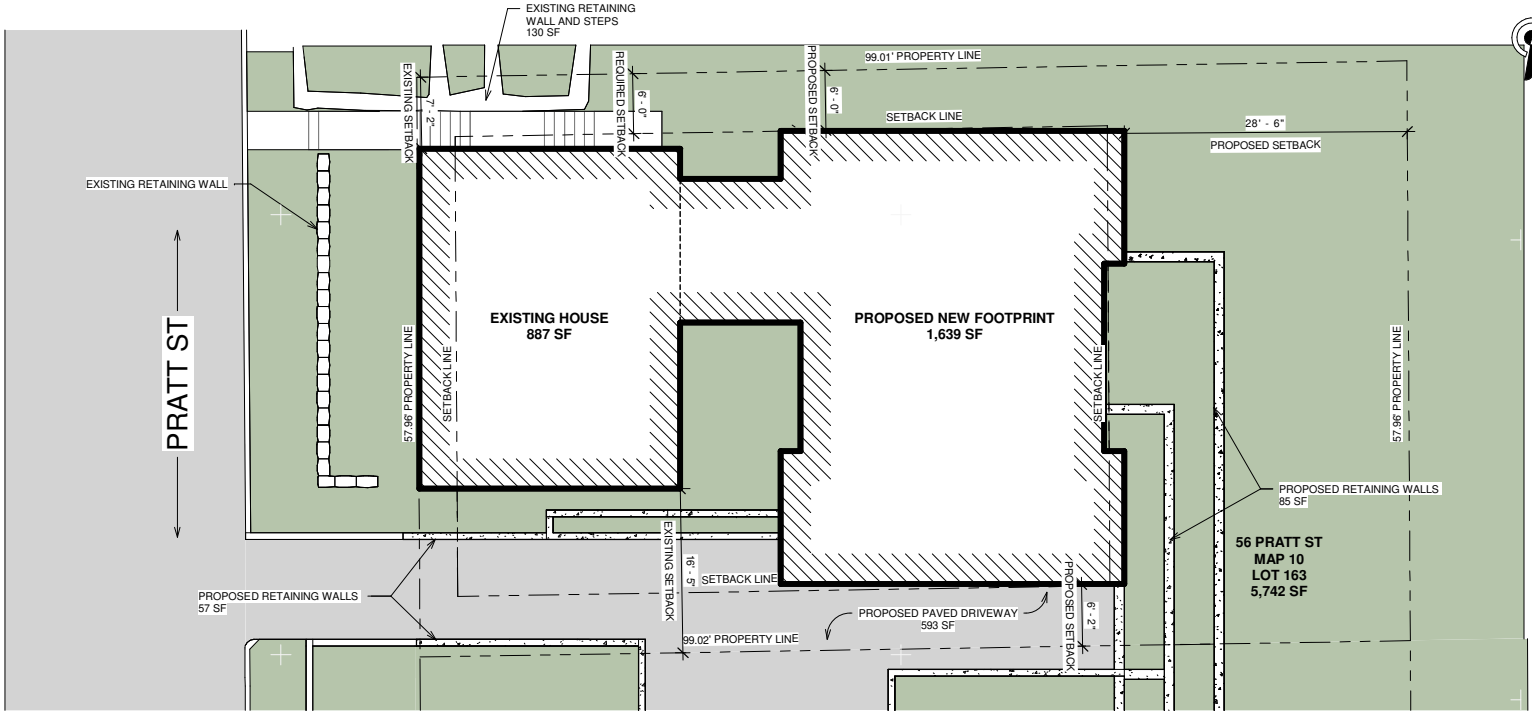
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GRADE PLANE CALCULATION	
NW CORNER AT EXISTING GRADE	135.75
NE CORNER AT EXISTING GRADE	151.75
SE CORNER AT EXISTING GRADE	151
SW CORNER AT EXISTING GRADE	134.17
AVERAGE	143.17
BUILDING COVERAGE CALCULATION: SE	
EXISTING HOUSE	887
PROPOSED ADDITION	1,639
TOTAL: 2,526 SF	

3

IMPERVIOUS SURFACE COVERAGE CALCULATION:	
EXISTING	SF
EXISTING HOUSE	887
EXISTING GARAGE	317
EXISTING STEP AND PAVED AREA	550
EXISTING SUNROOM STEPS	10
EXISTING RETAINING WALL AND STEPS	130
EXISTING RETAINING WALL	21
EXISTING RETAINING WALL	46
TOTAL: 1,961 SF	
PROPOSED	
EXISTING HOUSE	887
EXISTING RETAINING WALL AND STEPS	130
PROPOSED NEW BUILDING	1,639
PROPOSED PAVED DRIVEWAY	593
PROPOSED RETAINING WALLS	85
PROPOSED RETAINING WALLS	57
TOTAL: 3,391 SF	

4



83 SITE - PROPOSED
1/8" = 1'-0"

SITE PLAN

HDC
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ONLY

A0.1

56 Pratt St
Providence, RI 02906

PROJECT NUMBER: 25005

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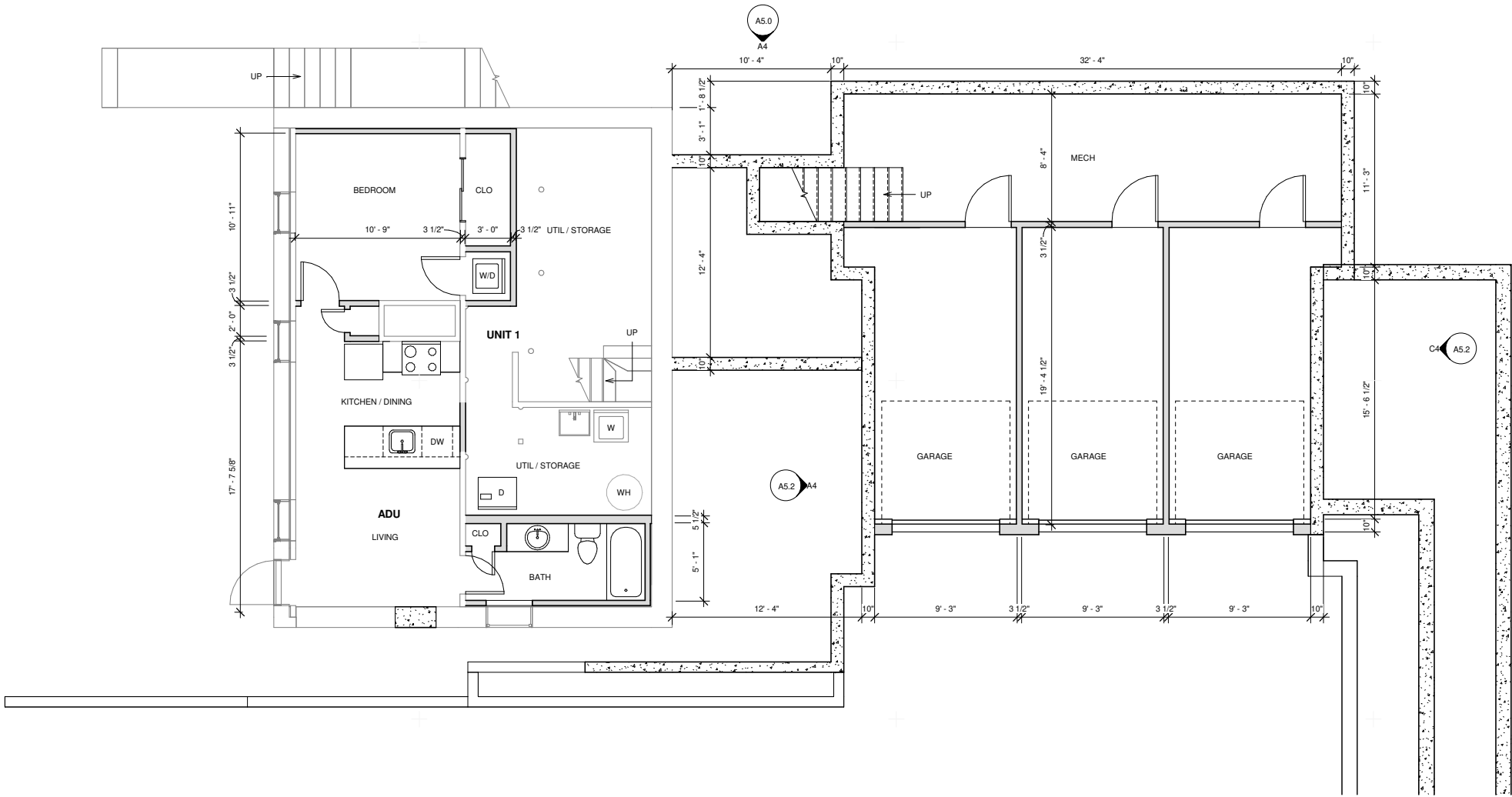
ISSUED FOR:

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david sisson architecture pc

345 Taunton Ave
East Providence RI 02914
www.ds-arch.com info@ds-arch.com 401-585-7070

SPACE	AREA
ADU	551 SF
UNIT 1	313 SF
GARAGES / MECH	936 SF



A2 FLOOR PLAN - BASEMENT
1/4" = 1'-0"

PLAN LEGEND

- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD
- DIMENSION TO THE FACE OF FRAMING OR MASONRY AT NEW CONSTRUCTION, TYP.
DIMENSION TO THE FACE OF FINISH AT EXISTING CONSTRUCTION
- DIMENSION TO THE FACE OF FINISH
- COLUMN LOCATION
- CARBON MONOXIDE DETECTOR - HARDWIRED AND INTERCONNECTED
- SMOKE DETECTOR - HARDWIRED AND INTERCONNECTED
- HEAT DETECTOR - HARDWIRED AND INTERCONNECTED
- FIRE RATED DOOR 60 MIN W/ CLOSER

GENERAL NOTES

1. VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS.
2. ALL INTERIOR WALLS 2X4 AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATES. SEE B4/A0.0
3. ALL DOOR JAMBS 4" OFF WALL UNLESS NOTED OTHERWISE
4. CENTER DOORS IN WALL UNLESS NOTED OTHERWISE
5. PROVIDE HARDWIRED AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS & AS DIRECTED BY THE LOCAL BUILDING DEPT.
6. PROTECT IN PLACE ALL EXISTING FIXTURES AND SURFACES SCHEDULED TO REMAIN.
7. PATCH AND REPAIR EXISTING WALLS LOCATED IN UNALTERED AREAS AFFECTED BY ALL NEW WORK, WHETHER SHOWN ON THE DRAWINGS OR NOT.
8. PATCH, PAINT AND REFINISH ALL EXISTING WALLS, FLOORS, CEILINGS & TRIM THROUGHOUT REPLACE MATERIALS IN-KIND WHEN DAMAGED PAST POINT OF REPAIR.
9. PLANS DO NOT FULLY REPRESENT ALL NEW WORK. THE CONSTRUCTION DOCUMENTS ARE INTENDED TO TO SERVE AS GENERAL GUIDELINES.
10. DIMENSIONS SHOWN ARE FROM FACE OF STUD OR FACE OF EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE.
11. PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE REQUIREMENTS. PROVIDE POWER FOR ALL APPLIANCES. LOCATE NEW ELECTRICAL DEVICES PER NEC REQUIREMENTS & OWNER'S REQUIREMENTS.
12. PROVIDE PLUMBING PER STATE PLUMBING CODE REQUIREMENTS
13. HVAC SYSTEM TO BE DESIGN BUILD, PROVIDE PER STATE CODE REQUIREMENTS.
14. PROVIDE SOLID WOOD BLOCKING AS REQUIRED.
15. PROVIDE FIRE EXTINGUISHERS PER CODE AND PER REQUIREMENTS OF THE BUILDING OFFICIAL.
16. INSTALL BATT INSULATION FULL DEPTH AT ALL EXPOSED STUD CAVITIES (CLOSED CELL SPRAY FOAM AT ATTIC ROOF CAVITIES)
17. COVER ALL WALLS AND CEILINGS W/ 1/2" THICK GYPSUM BOARD UNLESS NOTED OTHERWISE
18. PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD AT BATHROOMS UNLESS NOTED OTHERWISE.
19. ALL APPLIANCES PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
20. RECONNECT EXISTING FIXTURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD.
21. PROVIDE DIMMERS AS DIRECTED BY OWNER
22. A/V, CATV, TELEPHONE AND OTHER LOW VOLTAGE WIRING NOT SHOWN. SYSTEM TO BE DESIGN BUILD. CONTACT OWNER FOR LOCATIONS OF ALL LOW VOLTAGE WIRING.

DAVID SISSON ARCHITECTURE PC
345 Taunton Ave
East Providence RI 02814
www.ds-arch.com info@ds-arch.com 401-585-7070

REV. # DATE: 2026-07-27
ISSUED FOR: HDC REVIEW

56 Pratt St
Providence, RI 02906

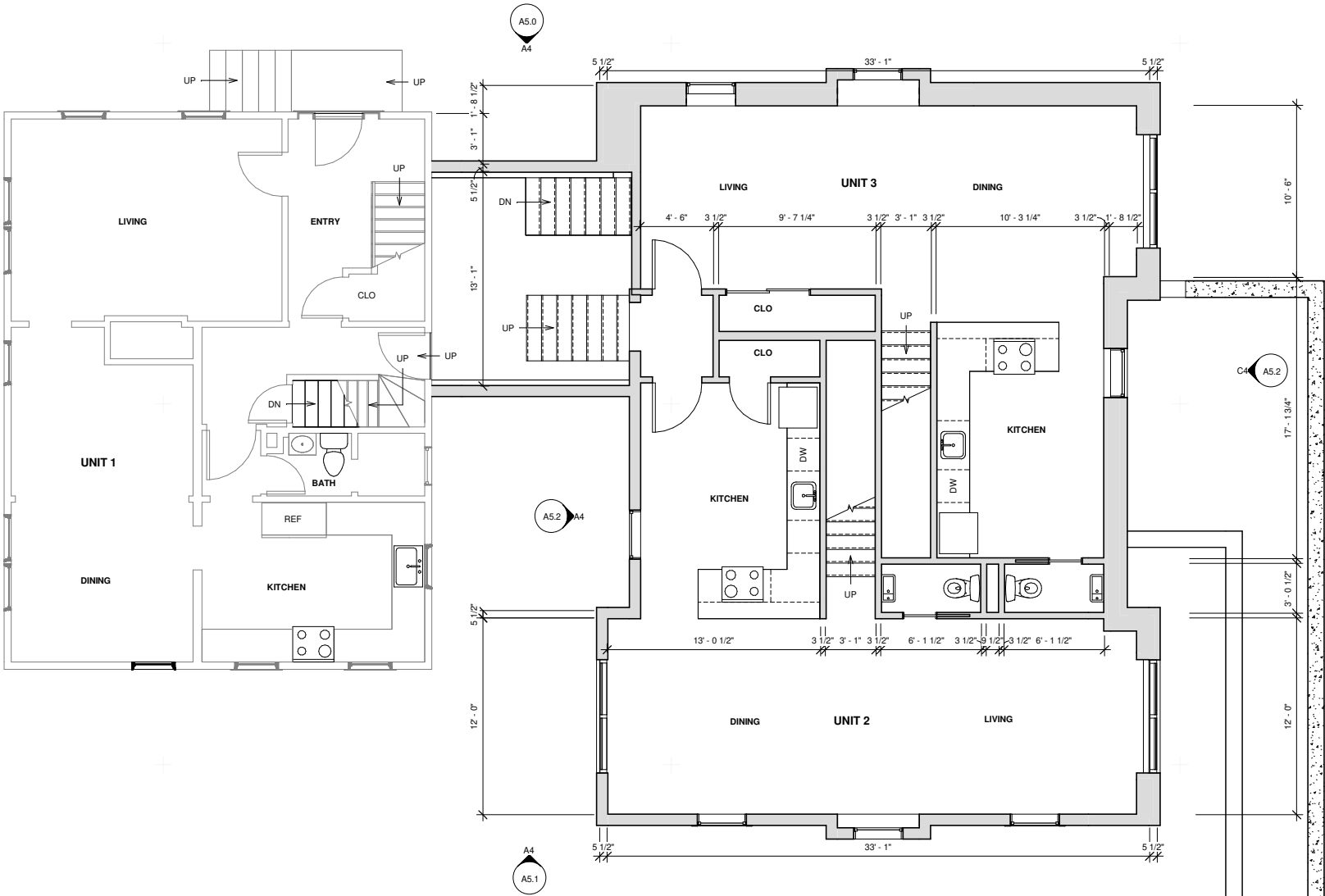
PROJECT NUMBER: 25005

PLAN BASEMENT

HDC
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ONLY

A4.0

SPACE	AREA
UNIT 1	887 SF
UNIT 2	714 SF
UNIT 3	714 SF
1ST FL COMMON AREA	198 SF



A4 FLOOR PLAN - 1ST FL
1/4" = 1'-0"

PLAN LEGEND

- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD
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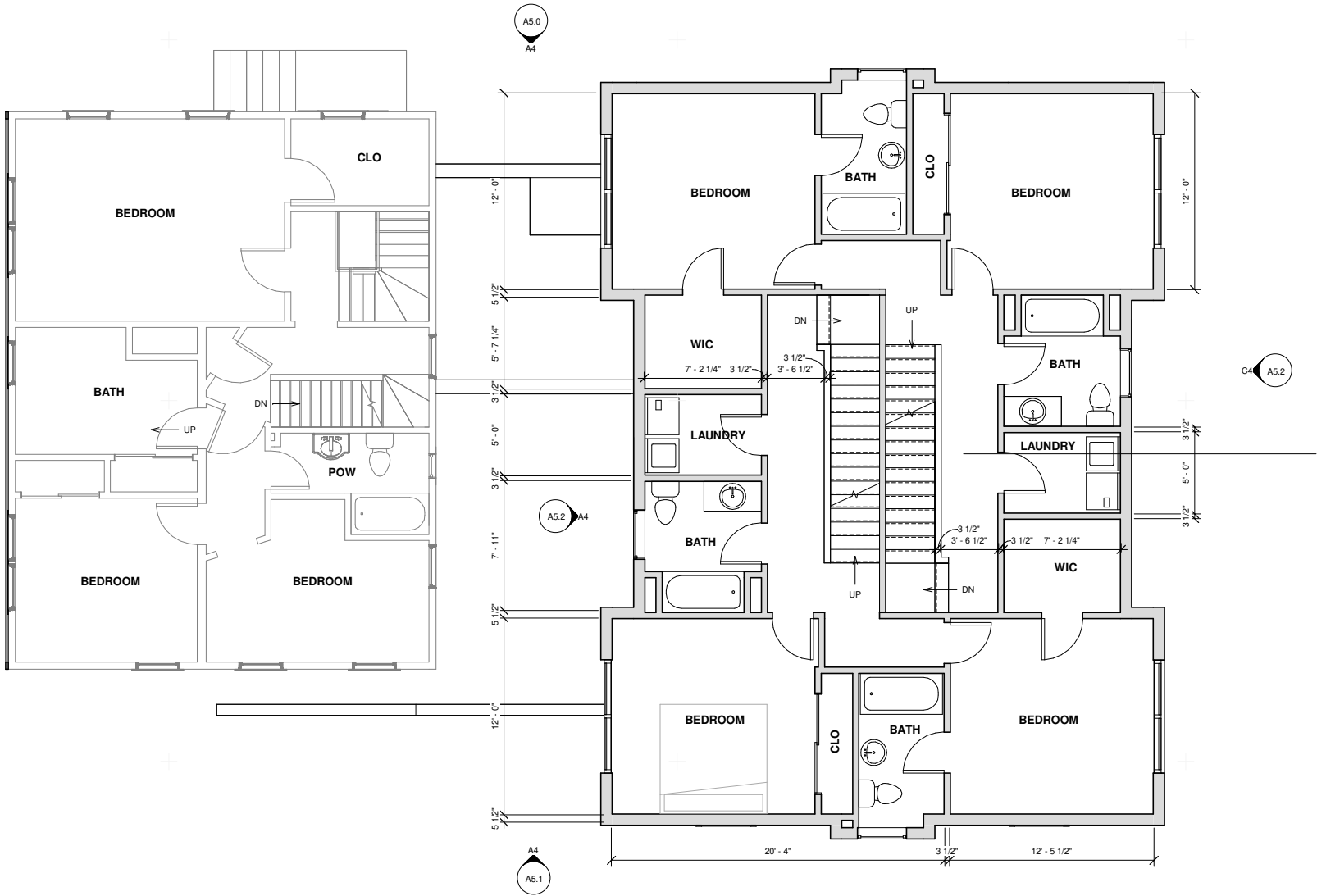
56 Pratt St
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PLAN 1ST FL

HDC
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A4.1

SPACE	AREA
UNIT 1	636 SF
UNIT 2	741 SF
UNIT 3	741 SF



A4 FLOOR PLAN - 2ND FL
1/4" = 1'-0"

PLAN LEGEND

- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
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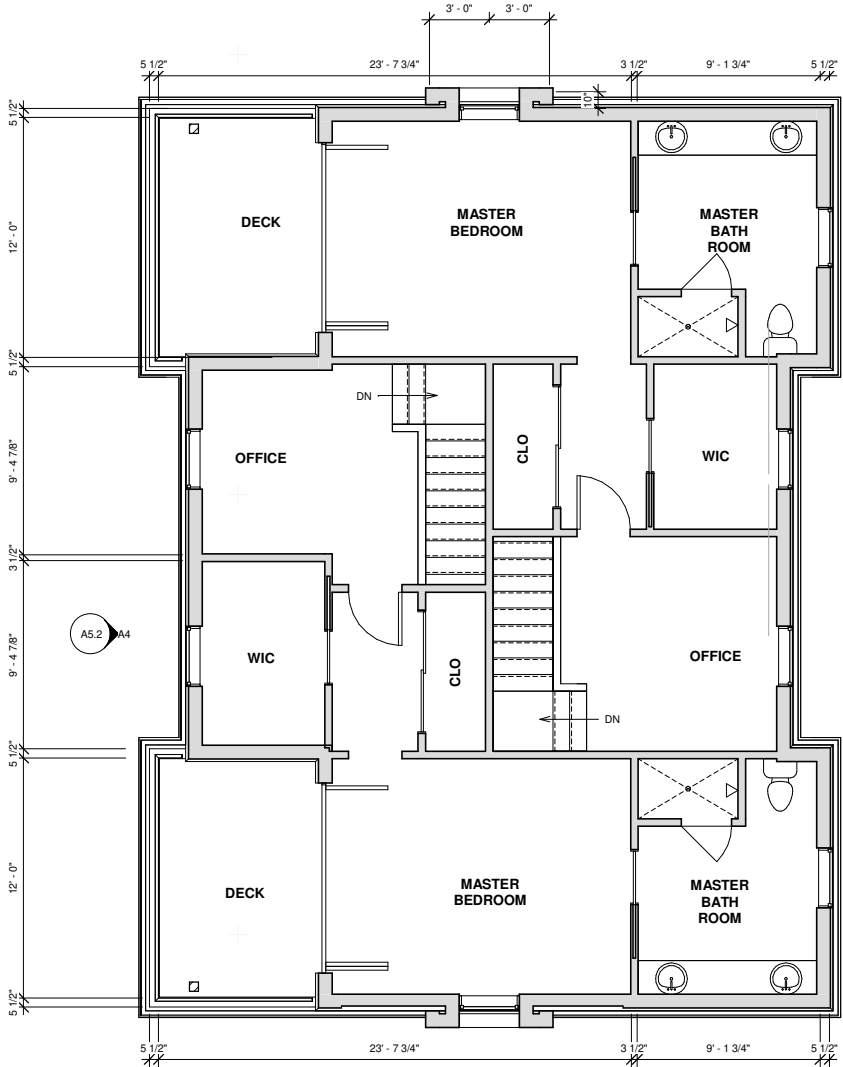
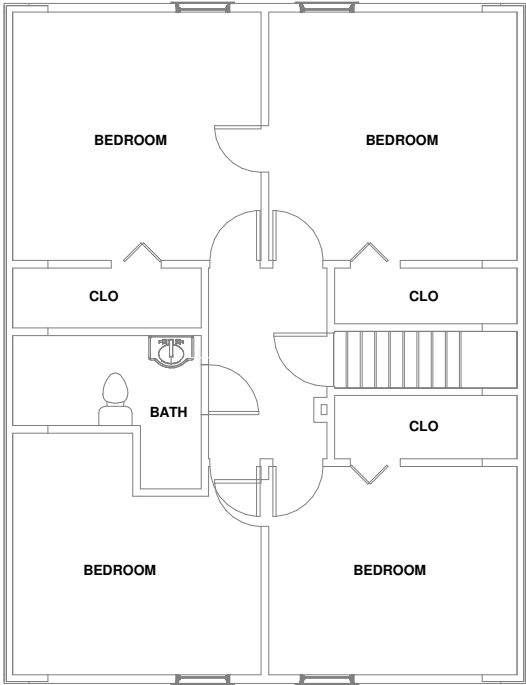
56 Pratt St
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PROJECT NUMBER: 25005

PLAN 2ND FL

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A4.2

SPACE	AREA
UNIT 2	741 SF
UNIT 3	741 SF



A4 FLOOR PLAN - 3RD FL
1/4" = 1'-0"

PLAN LEGEND

- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD
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PLAN 3RD FL

HDC
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ONLY

A4.3

1

2

3

4

A

B

C

D





A4 WEST ELEVATION
1/4" = 1'-0"



C4 EAST ELEVATION
1/4" = 1'-0"

KEYED NOTES

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ELEVATIONS

HDC
REVIEW
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A5.2



A

B

C

D

1

2

3

4



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STREET VIEW

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A10.2

D

4



A10.3


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	2026-07-27	HDC REVIEW

56 Pratt St
Providence, RI 02906
PROJECT NUMBER: 25005

STREET VIEW

HDC
REVIEW
ONLY

A10.4

ZONING TABLE
MAP = 10
LOT = TBD

BASE ZONING DISTRICT: R-3
OVERLAY ZONING DISTRICT: HISTORIC DISTRICT

PROPOSED USE:

ITEM	REQUIRED	PROVIDED	RELIEF REQUESTED?
LOT SIZE	NEW SUBDIVISIONS 5,000 SF	5,149 SF	NO
MINIMUM LOT WIDTH	EXISTING LOT NONE NEW SUBDIVISIONS 50'	110' EXISTING	NO
HEIGHT	45' NOT MORE THAN 3 STORY	43' - 7" / 3 STORY	NO
MAX BUILDING COVERAGE	45% (2,317 SF) (2,433 W/5% VAR)	46.4% (2,347 SF) PROPOSED	NO
MAX IMPERV. SURFACE COVERAGE	65% (3,347 SF)	61% (3,081 SF) PROPOSED	NO
MIN PERV. SURFACE COVERAGE	1,000 SF	2,166 SF PROPOSED	NO
MAX IMPERV. FRONT YARD COVERAGE	33% (22.8 SF)	18% (4.2 SF) PROPOSED	NO
MAX IMPERV. REAR YARD COVERAGE	50% (1572 SF)	0% (0 SF) PROPOSED	NO
FRONT SETBACK	3.8' (AVERAGE WITHIN 100')	0' - 5' PROPOSED	NO
REAR SETBACK	30'	30' - 1" PROPOSED	NO
SIDE SETBACK	6'	6' - 0" PROPOSED	NO
SIDE SETBACK	6'	6' - 6" PROPOSED	NO
ENCROACHMENT FOR STAIR	4' MAX FROM PROPERTY LINE	4' - 1" PROPOSED	NO

IMPERVIOUS SURFACE COVERAGE CALCULATION:

PROPOSED	SF
EXISTING RETAINING WALL	95
PROPOSED NEW BUILDING	2,347
PROPOSED PAVED DRIVEWAY	271
PROPOSED RETAINING WALL	73
PROPOSED STEPS AND LANDING	302

TOTAL: 3077 SF

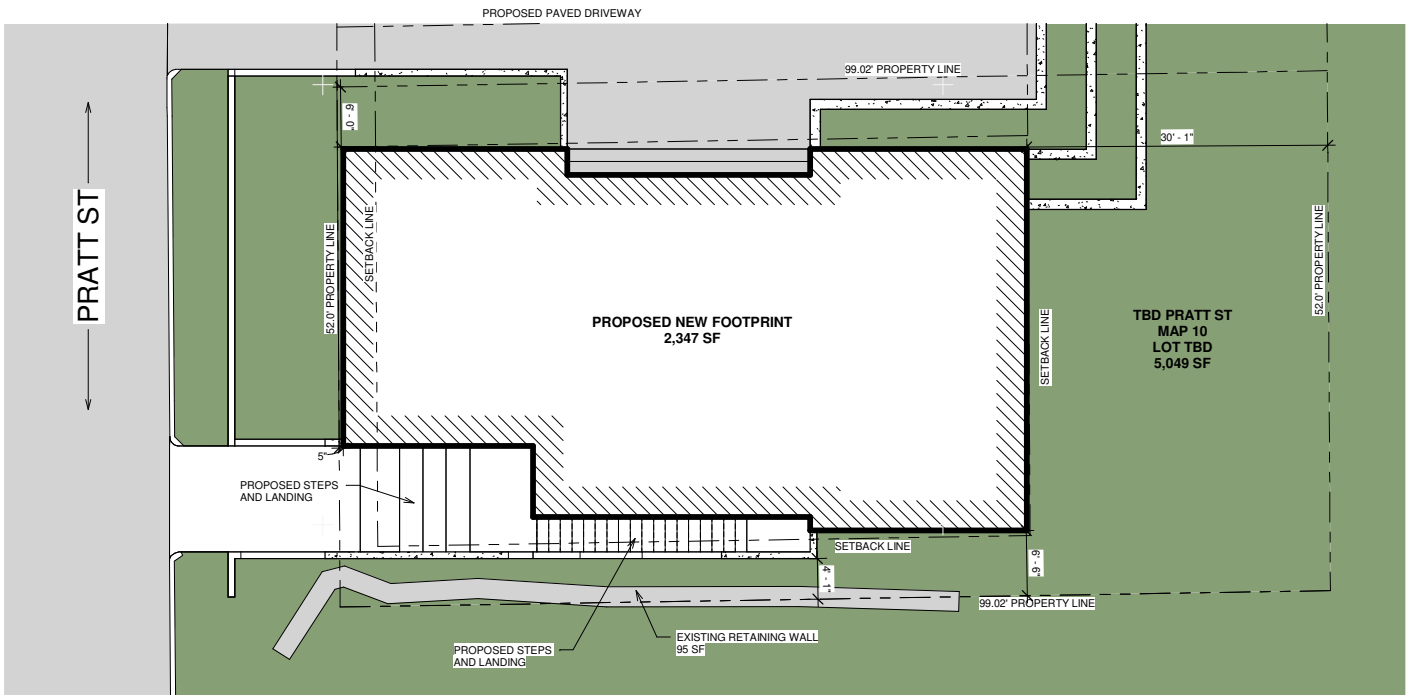
GRADE PLANE CALCULATION

NW CORNER AT EXISTING GRADE	136'
NE CORNER AT EXISTING GRADE	151'
SE CORNER AT EXISTING GRADE	151.25'
SW CORNER AT PROPOSED PAVEMENT	133.75'

AVERAGE 143'

FRONT YARD CALCULATION	SF
FRONT YARD	22.8 SF
33% ALLOWED	7.5 SF
IMPERVIOUS	4.2 SF (18%)

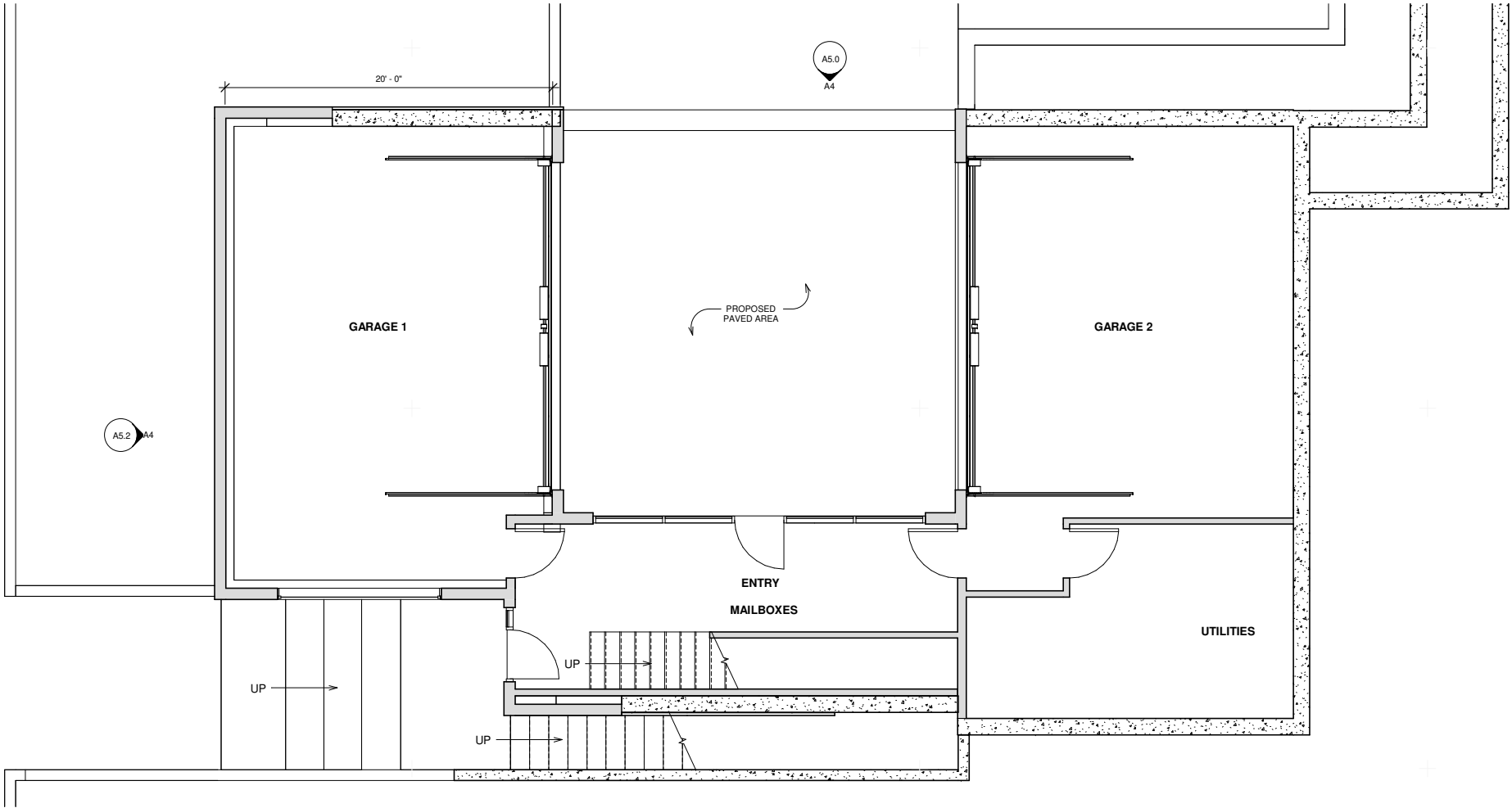
REAR YARD CALCULATION	SF
REAR YARD	1572 SF
50% ALLOWED	786 SF
IMPERVIOUS	0 SF (0%)



C-3 SITE - PROPOSED
1/8" = 1'-0"



SPACE	AREA
GARAGE 1	590 SF
GARAGE 2	509 SF
ENTRY	214 SF
UTILITIES	252 SF



A2 FLOOR PLAN - CELLAR
1/4" = 1'-0"

PLAN LEGEND

- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD
- DIMENSION TO THE FACE OF FRAMING OR MASONRY AT NEW CONSTRUCTION, TYP.
DIMENSION TO THE FACE OF FINISH AT EXISTING CONSTRUCTION
- DIMENSION TO THE FACE OF FINISH
- COLUMN LOCATION
- CARBON MONOXIDE DETECTOR - HARDWIRED AND INTERCONNECTED
- SMOKE DETECTOR - HARDWIRED AND INTERCONNECTED
- HEAT DETECTOR - HARDWIRED AND INTERCONNECTED
- FIRE RATED DOOR 60 MIN W/ CLOSER

GENERAL NOTES

1. VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS.
2. ALL INTERIOR WALLS 2X4 AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATES. SEE B4/A0.0
3. ALL DOOR JAMBS 4" OFF WALL UNLESS NOTED OTHERWISE
4. CENTER DOORS IN WALL UNLESS NOTED OTHERWISE
5. PROVIDE HARDWIRED AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS & AS DIRECTED BY THE LOCAL BUILDING DEPT.
6. PROTECT IN PLACE ALL EXISTING FIXTURES AND SURFACES SCHEDULED TO REMAIN.
7. PATCH AND REPAIR EXISTING WALLS LOCATED IN UNALTERED AREAS AFFECTED BY ALL NEW WORK, WHETHER SHOWN ON THE DRAWINGS OR NOT.
8. PATCH, PAINT AND REFINISH ALL EXISTING WALLS, FLOORS, CEILINGS & TRIM THROUGHOUT REPLACE MATERIALS IN-KIND WHEN DAMAGED PAST POINT OF REPAIR.
9. PLANS DO NOT FULLY REPRESENT ALL NEW WORK. THE CONSTRUCTION DOCUMENTS ARE INTENDED TO TO SERVE AS GENERAL GUIDELINES.
10. DIMENSIONS SHOWN ARE FROM FACE OF STUD OR FACE OF EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE.
11. PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE REQUIREMENTS. PROVIDE POWER FOR ALL APPLIANCES. LOCATE NEW ELECTRICAL DEVICES PER NEC REQUIREMENTS & OWNER'S REQUIREMENTS.
12. PROVIDE PLUMBING PER STATE PLUMBING CODE REQUIREMENTS
13. HVAC SYSTEM TO BE DESIGN BUILD, PROVIDE PER STATE CODE REQUIREMENTS.
14. PROVIDE SOLID WOOD BLOCKING AS REQUIRED.
15. PROVIDE FIRE EXTINGUISHERS PER CODE AND PER REQUIREMENTS OF THE BUILDING OFFICIAL
16. INSTALL BATT INSULATION FULL DEPTH AT ALL EXPOSED STUD CAVITIES (CLOSED CELL SPRAY FOAM AT ATTIC ROOF CAVITIES)
17. COVER ALL WALLS AND CEILINGS W/ 1/2" THICK GYPSUM BOARD UNLESS NOTED OTHERWISE
18. PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD AT BATHROOMS UNLESS NOTED OTHERWISE.
19. ALL APPLIANCES PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
20. RECONNECT EXISTING FIXTURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD.
21. PROVIDE DIMMERS AS DIRECTED BY OWNER
22. A.V. CATV, TELEPHONE AND OTHER LOW VOLTAGE WIRING NOT SHOWN. SYSTEM TO BE DESIGN BUILD. CONTACT OWNER FOR LOCATIONS OF ALL LOW VOLTAGE WIRING.

DAVID SISSON ARCHITECTURE PC
345 Taunton Ave
East Providence RI 02814
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PLANS CELLAR

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A4.0

SPACE	AREA
UNIT 1	1385 SF
UNIT 2	803 SF
1ST FL COMMON AREA	214 SF

A

B

C

D

PLAN LEGEND

- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
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A4 FLOOR PLAN - 1ST FL
1/4" = 1'-0"

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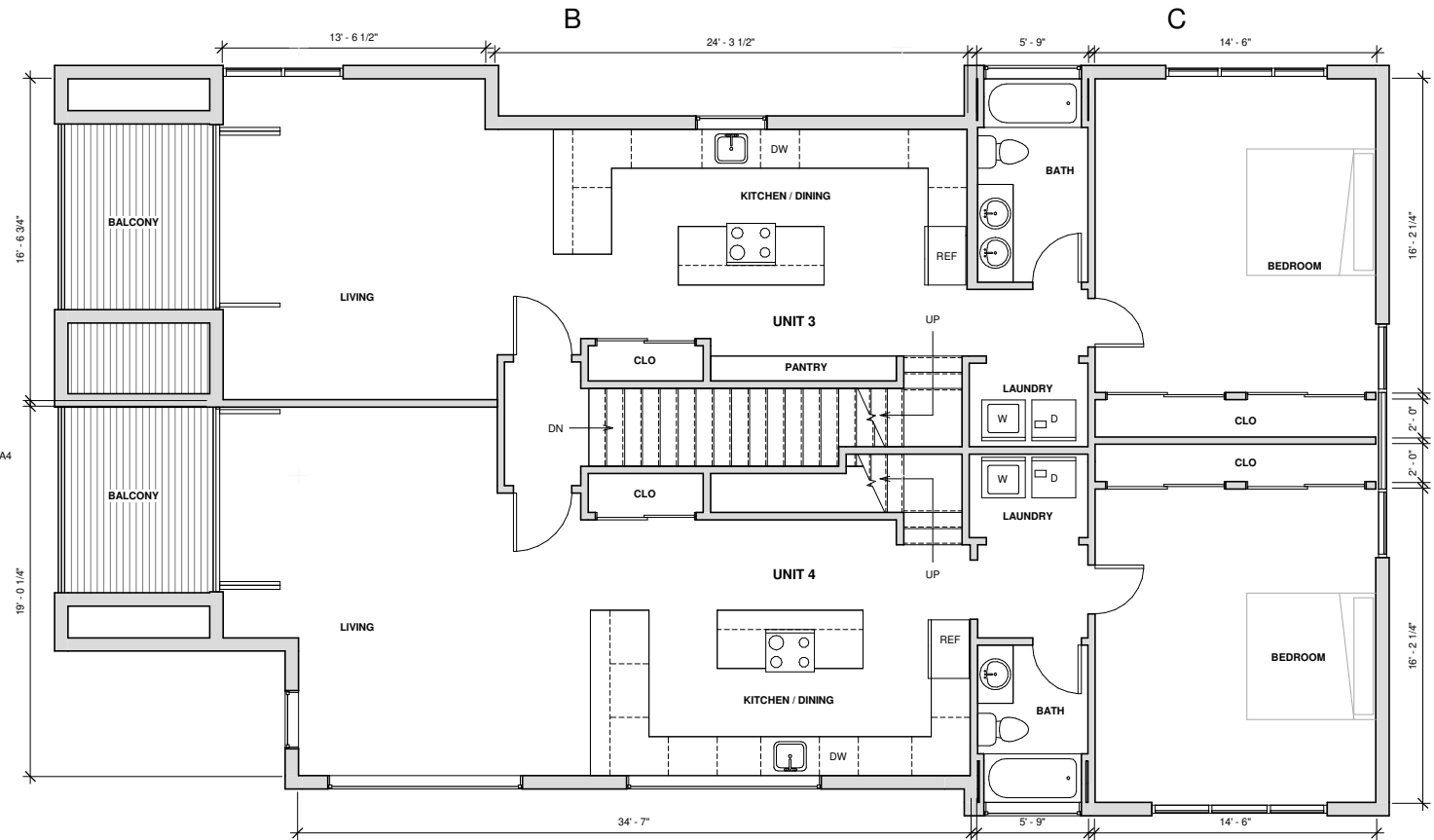
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PLANS 1ST FL

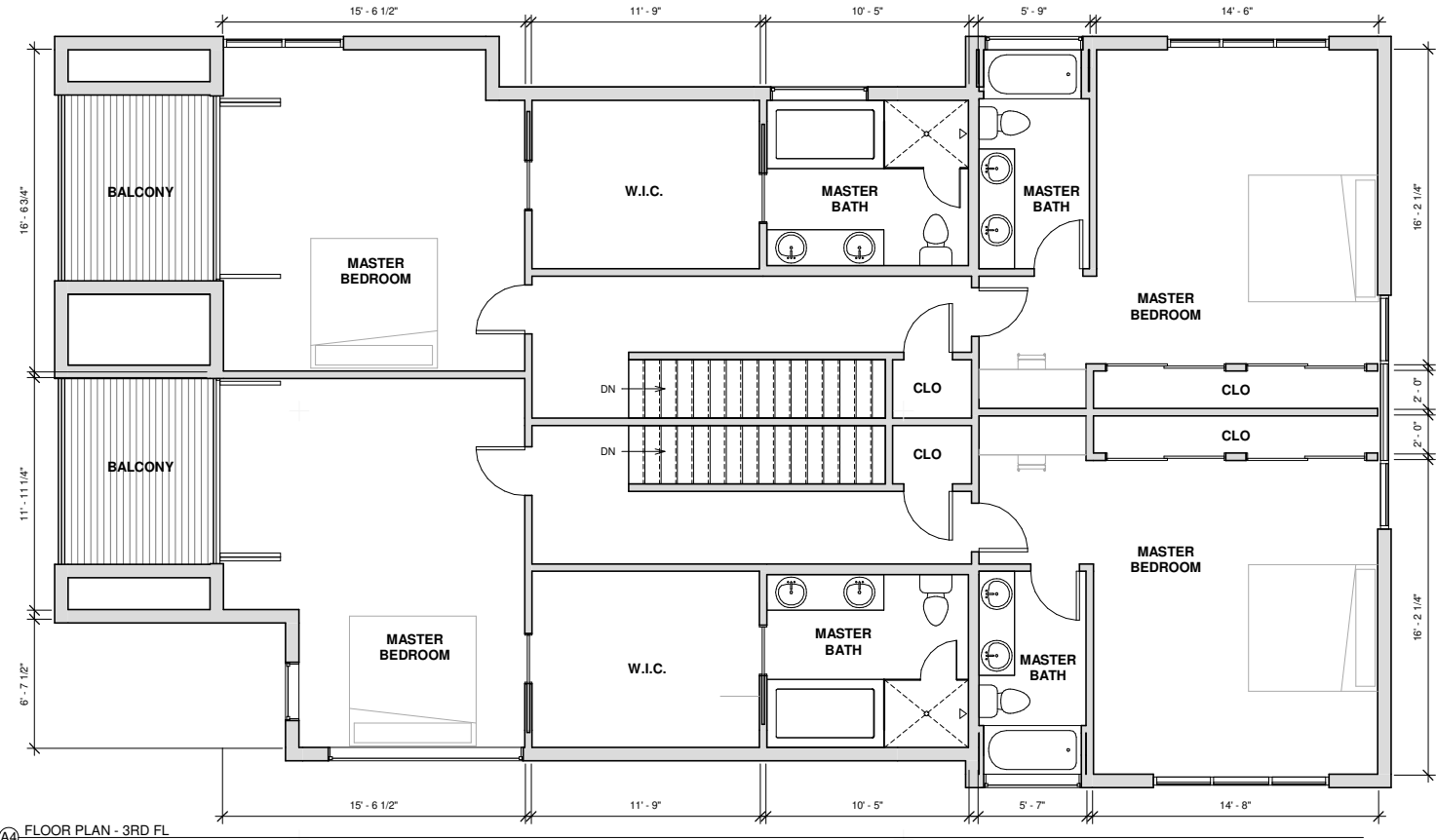
HDC
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ONLY

A4.1

SPACE	AREA
UNIT 3	2115 SF
UNIT 4	2176 SF
2ND FL COMMON AREA	86 SF



A3 FLOOR PLAN - 2ND FL
1/4" = 1'-0"



A4 FLOOR PLAN - 3RD FL
1/4" = 1'-0"

PLAN LEGEND

EXISTING DOOR

EXISTING PARTITION

NEW DOOR

FULL HEIGHT PARTITION

PARTIAL HEIGHT PARTITION

BEAM OVERHEAD

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PLANS 2ND FL & 3RD FL

HDC REVIEW ONLY

A4.2



NORTH ELEVATION
1/4" = 1'-0"

KEYED NOTES

ELEVATIONS

HDC
REVIEW
ONLY

A5.0

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KEYED NOTES



ELEVATIONS

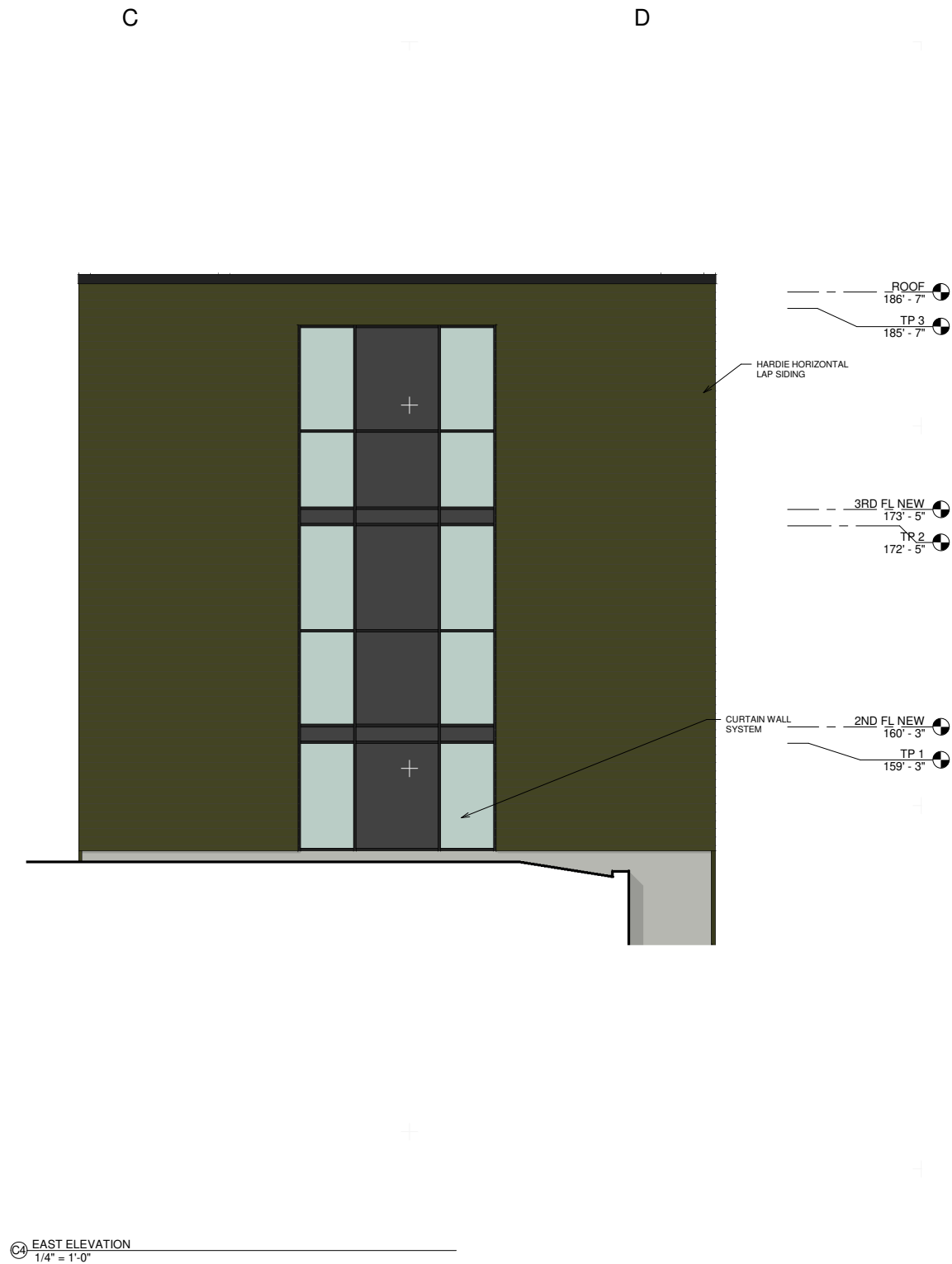
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(A5.1)

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A3 PRATT STREET ELEVATION
1 1/2" = 1'-0"

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ELEVATION -STREET
VIEW

HDC
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A5.3

D



A10.0



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