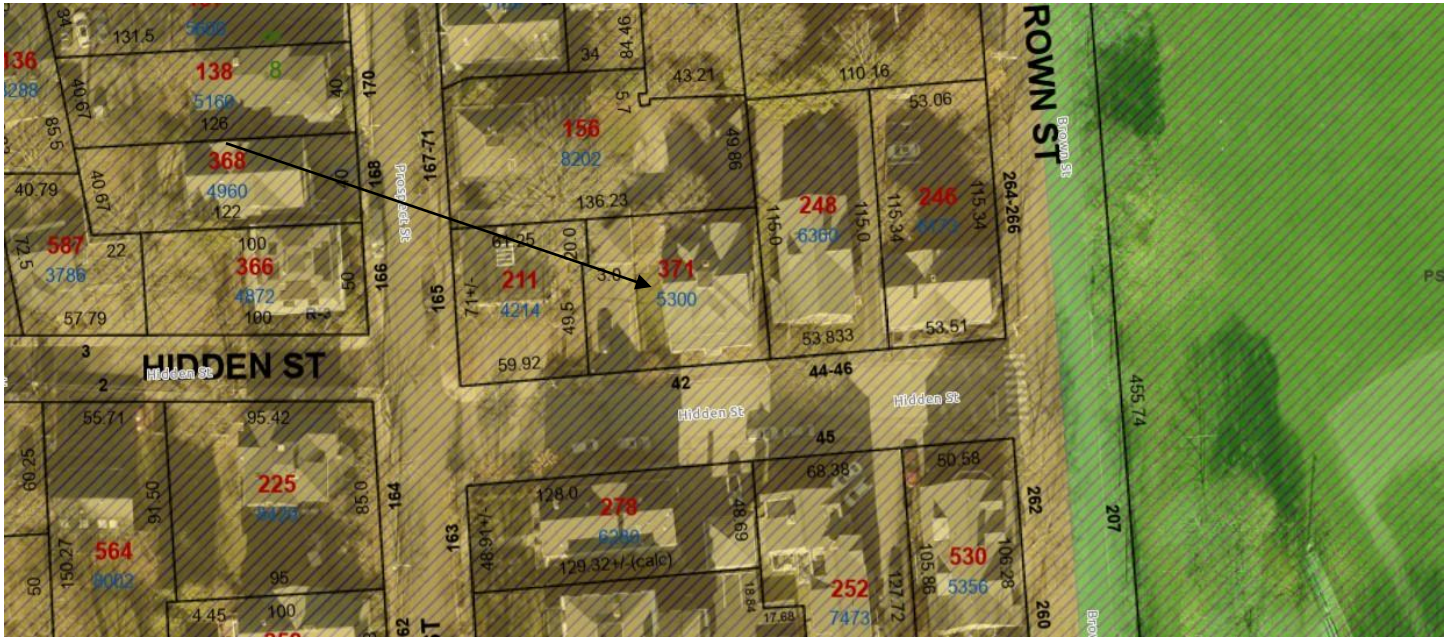


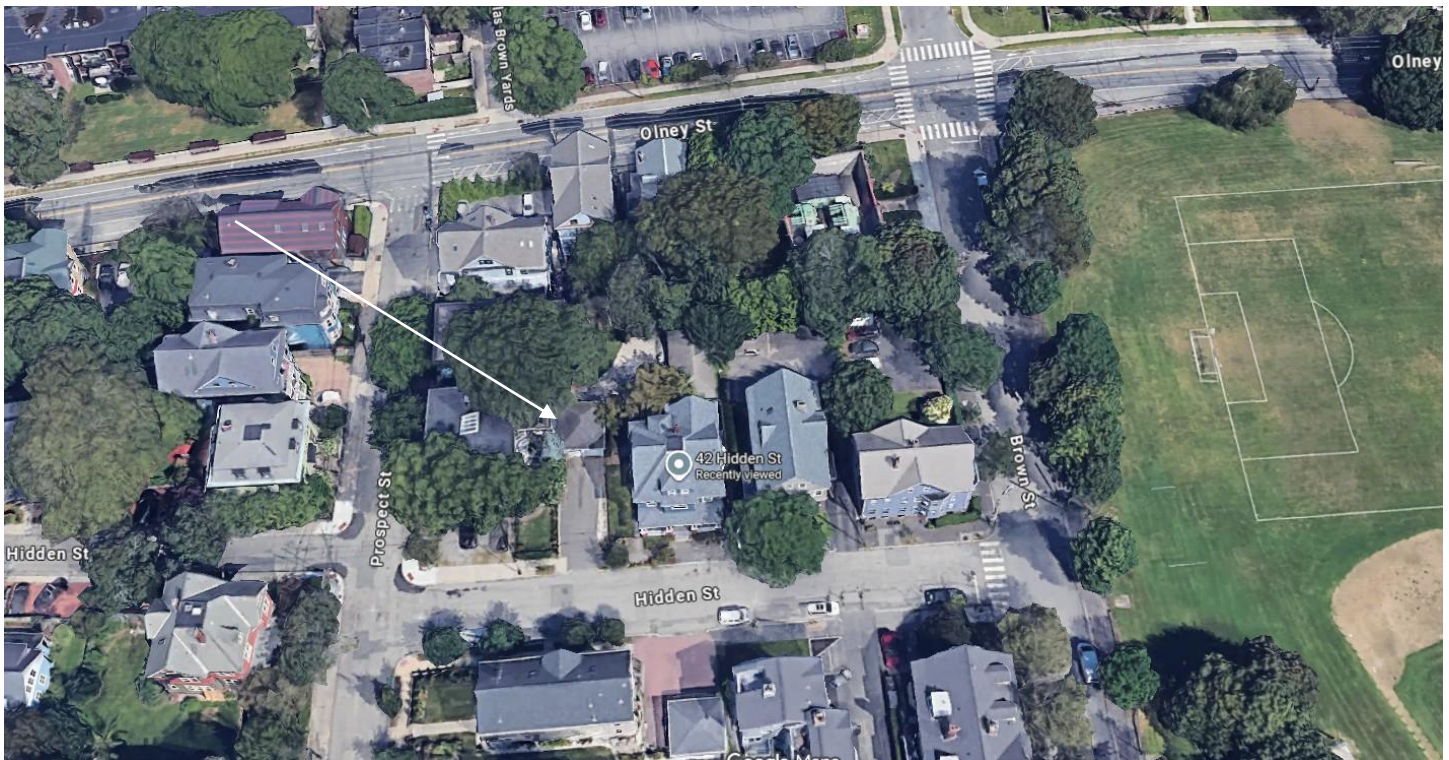
3. CASE 26.107, 42 HIDDEN STREET, Simeon Klein House, 1912-13 (COLLEGE HILL)

Colonial Revival; 2-1/2 stories; flank gable; clapboard and shingle; broad block with porch across front with central square bay above; central dormer. The wood, two-bay, one-story with hip roof garage is not acknowledged in the NR nomination.

CONTRIBUTING



Arrow indicates 42 Hidden Street.



Arrow indicates project location, looking north.

Applicant: Peter Casale, 250 Gano Street, Suite I, Providence, RI 02906

Owner: Geoffrey P. & Brandy J. McKinnon, Trustee, 42 Hidden Street, Providence, RI 02906

Architect: JJ Cardosi Inc, 150 Amaral Street, Riverside, RI 02915

Contractor: Dean Martineau, 17 Fairmount St. Johnston, RI 02919.

Proposal: The scope of work proposed consists of Demolition, New Construction, and Minor Alterations (Site Improvements). Staff recommends bifurcating the application between the demolition and the new construction/minor alterations:

- demolition of the existing garage, a secondary structure, not identified in the College Hill NRHD;
- new construction of a new two-story garage with Accessory Dwelling Unit (ADU); and,
- minor alterations (site improvements) installation of an in-ground, therapeutic pool.

Issues: Staff recommends bifurcating the review into, separating the demolition and new construction components. The request for the pool could also be separated or combined with the new construction portion.

The following issues are relevant to this application:

Demolition:

Significance

The building proposed for demolition is a secondary structure with minimal architectural or historical merit. The existing wood, two-bay, one-story with hip roof garage is not identified within the College Hill . The removal of the building will not irreparably diminish the architectural or historical character of the property or district as a whole.

Demolition Alternatives

Staff is satisfied that given the minimal architectural and historical significance, there are no alternatives to demolition because no reasonable expectation exists that the structure can be sold for preservation either on or off site. It is staff's recommendation that the documentation requirements relative to demolition alternatives and financial information for the garage be waived as it pertains to a secondary, non-contributing structure.

Demolition Criteria

Staff has determined that the building slated for demolition is a secondary, non-contributing structure and would use the PHDC's secondary criteria for approving demolition. This proposal meets these criteria, in that it will have little effect on surrounding buildings or on the district as a whole, having been separated and no longer associated with its original property.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) The wood, two-bay, one-story with hip roof garage at 42 Hidden Street is a secondary, non-contributing structure and has minimal to no historical and architectural significance, both on its own merit and in relation to the surrounding College Hill local historic district. The removal of the building is consistent with the secondary non-contributing criteria of the PHDC demolition guidelines, in that it would have little impact on the property and the district as a whole, having not been identified in the College Hill NRHD;
- b) The application for demolition is complete. The PHDC waives the requirement for documenting financial information relative to the demolition, because the building slated for demolition is a secondary non-contributing structure;
- c) The PHDC is satisfied that there are no alternatives to demolition because no reasonable expectation exists that the secondary structure can be sold for preservation either on or off site;
- d) The review of the proposed demolition is hereby completed in one meeting, as allowed for secondary and non-contributing structures under the PHDC demolition guidelines; and,
- e) The work as proposed is in accord with PHDC Standard 8 in the following way: the work will be done so that it does not destroy the historic character of the property or the district.

Staff recommends a motion be made stating: The wood, two-bay, one-story with hip-roof garage at 42 Hidden Street is a secondary, non-contributing structure and has minimal to no historical and architectural significance, both on its own merit and in relation to the surrounding College Hill local historic district, having not been identified in the College Hill NRHD. The application for demolition is complete. The Commission waives the requirement for documenting financial information relative to the demolition, because the building slated for demolition is a secondary non-contributing structure. The Commission is satisfied that there are no alternatives to demolition because no reasonable expectation exists that the secondary structure can be sold for preservation either on or off site. The review of the proposed demolition is hereby completed in one meeting, as allowed for secondary and non-contributing structures under the Commission's demolition guidelines. The Commission grants Final Approval

of the demolition portion of the application as submitted, citing Standard 8, as its removal would have little impact on the property and the district as a whole, having not been identified in the College Hill NRHD, citing and agreeing with the recommendations in the staff report, with staff to review any additional required details.

New Construction and Minor Alterations (Site Improvements):

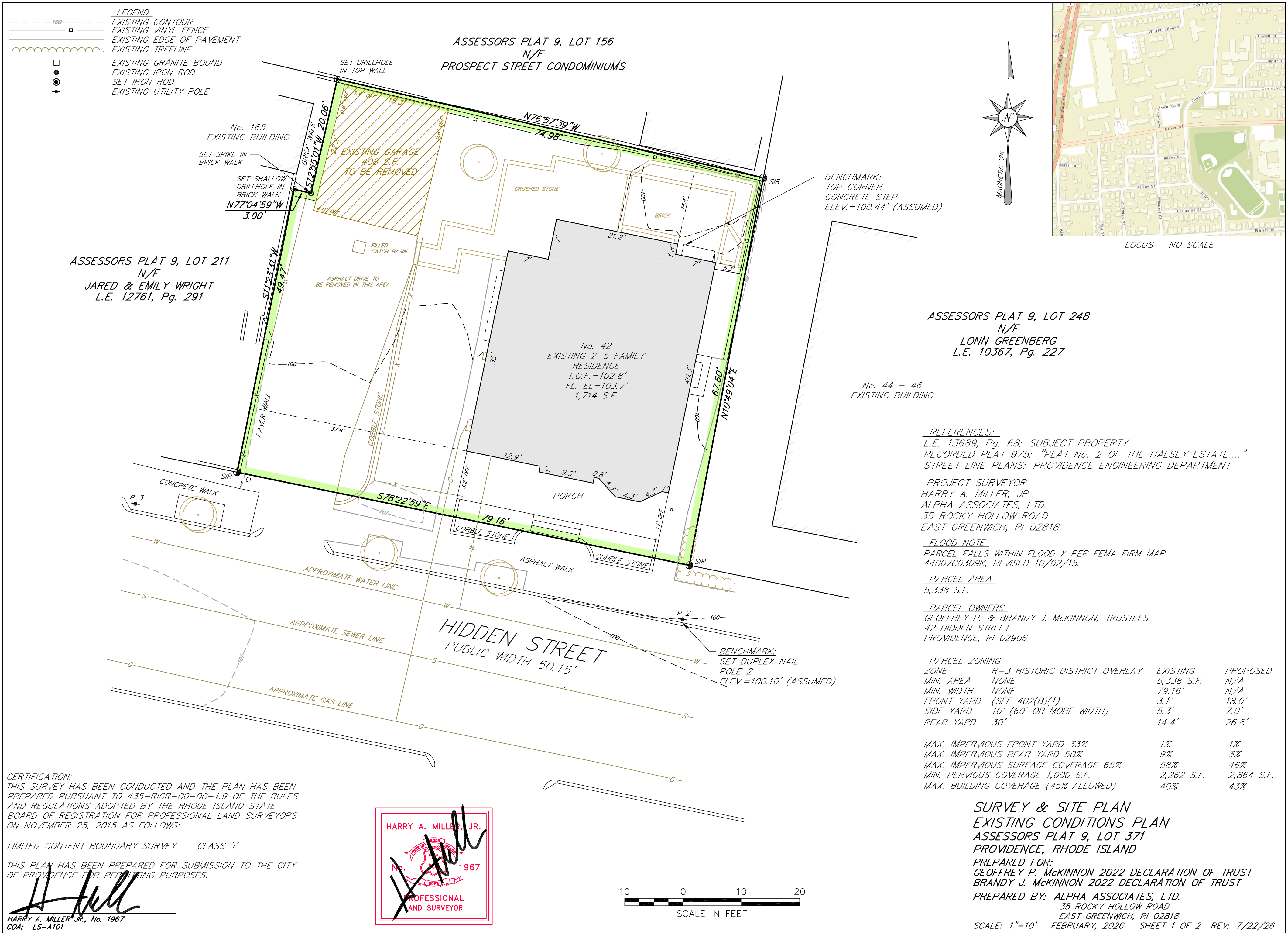
Issues: The following issues are relevant to this application:

- The proposed building's form and siting are appropriate for the location;
- The proposed structure appears to be zoning compliant;
- The installation of a below ground pool is appropriate; and,
- Plans and photos have been submitted.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 41 Hidden Street is a structure of historical and architectural significance that contributes to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Register Historic District;
- b) The application for New Construction is considered complete for review; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: as the proposed new construction is appropriate having determined that the proposed construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district.

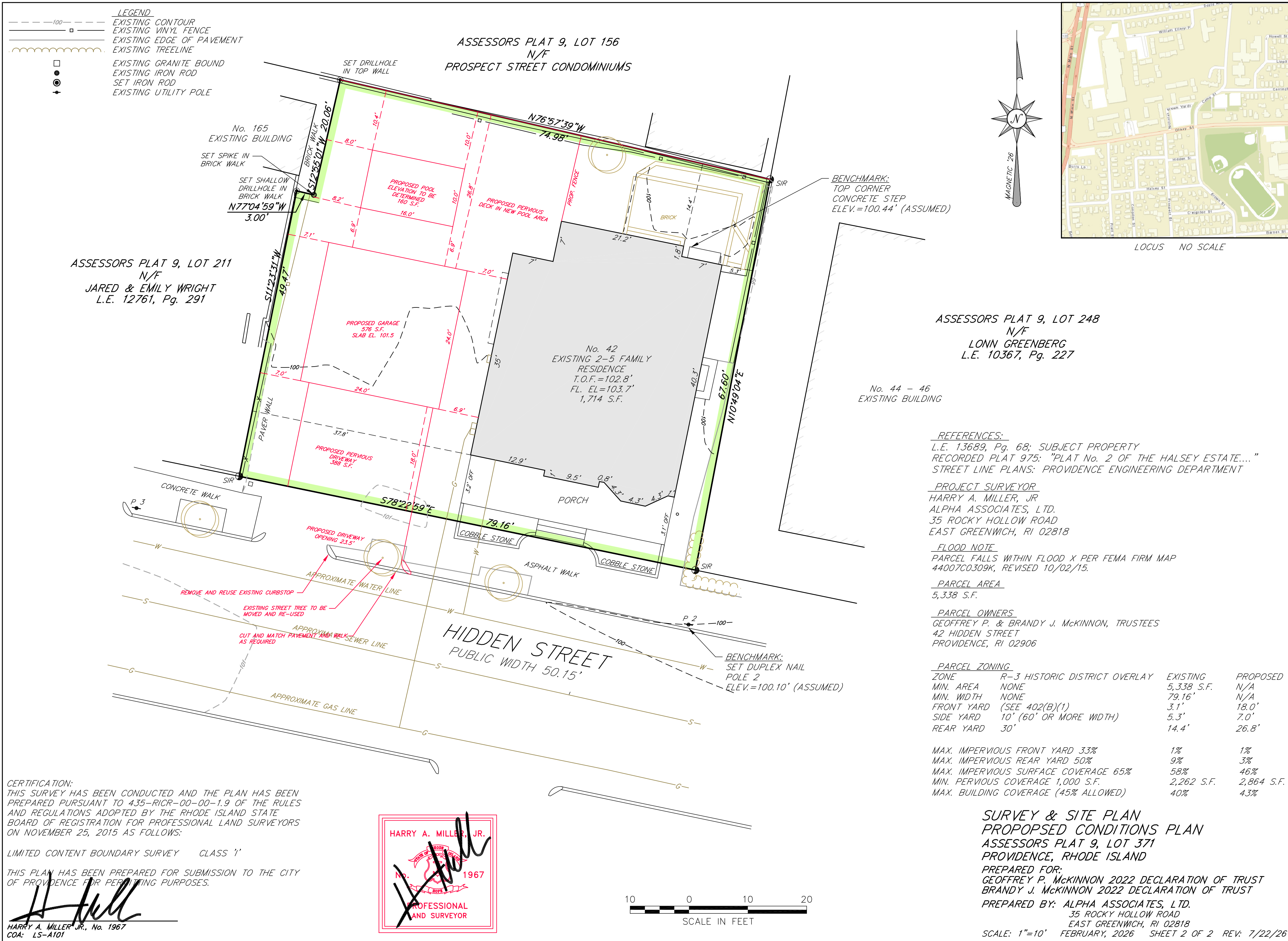
Staff recommends a motion be made stating that: The application is considered complete. 42 Hidden Street is a structure of historical and architectural significance that contributes to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Register Historic District. The Commission grants Final Approval of the new construction and minor alterations, citing Standard 8, having determined that the proposed construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district, citing and agreeing to the recommendations in the staff report, with staff to review any additional details.



SURVEY & SITE PLAN
EXISTING CONDITIONS PLAN
ASSESSORS PLAT 9, LOT 371
PROVIDENCE, RHODE ISLAND

PREPARED FOR:
GEOFFREY P. McKINNON 2022 DECLARATION OF TRUST
BRANDY J. McKINNON 2022 DECLARATION OF TRUST
PREPARED BY: ALPHA ASSOCIATES LTD.

PREPARED BY: ALPHA ASSOCIATES, LTD.
35 ROCKY HOLLOW ROAD
EAST GREENWICH, RI 02818
SCALE: 1"=10' FEBRUARY, 2026 SHEET 1 OF 2 REV: 7/22/26



*SURVEY & SITE PLAN
PROPOSED CONDITIONS PLAN
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42 Hidden Street – Proposed Garage / ADU

Providence Historic District Commission (HDC) Meeting Submission – July 27, 2026

EXISTING CONDITIONS



PROPOSED CONDITIONS



Renderings prepared by Geoff McKinnon (owner) from street photography and building plans.

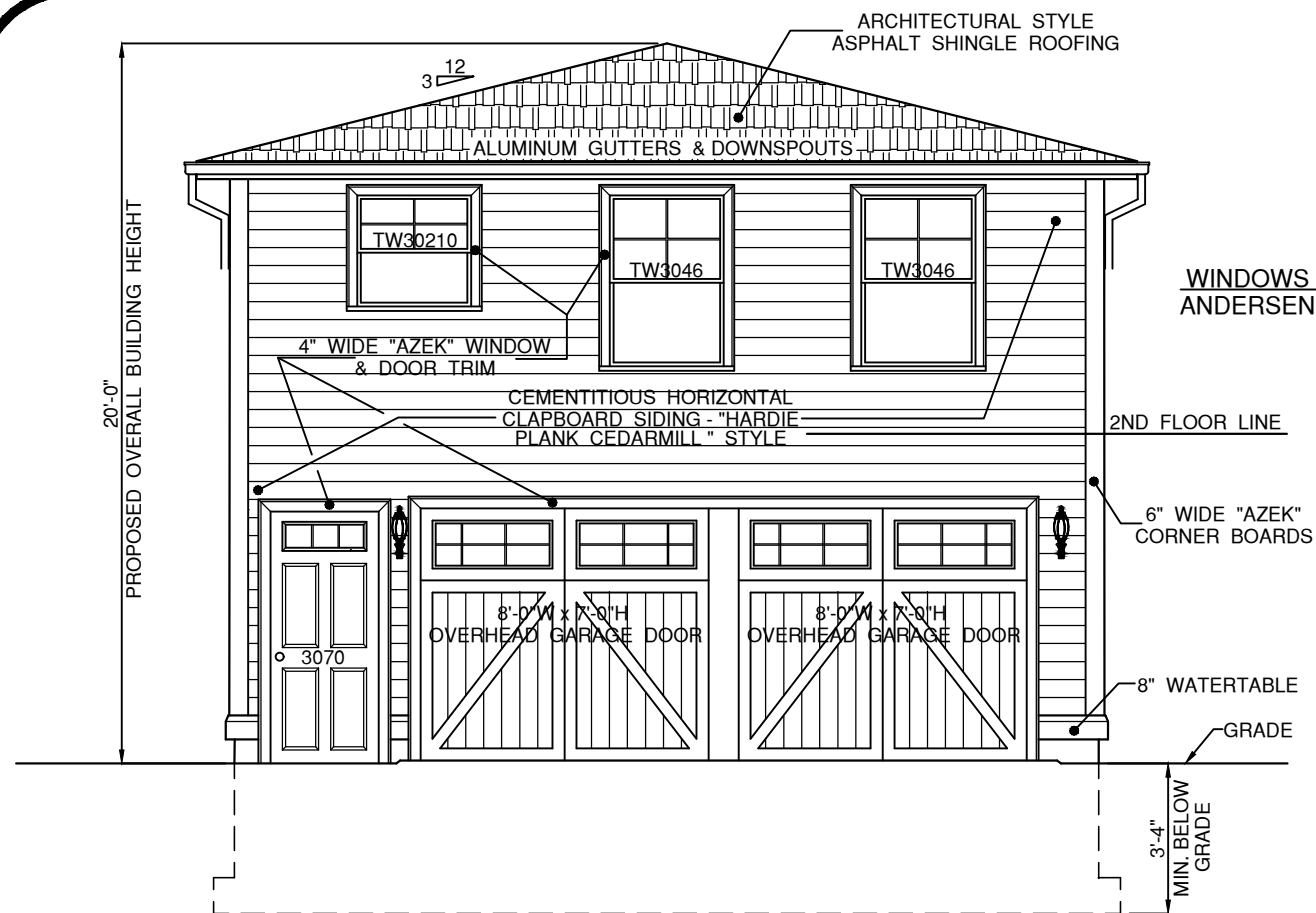
Illustrative visualization for Historic District Commission review; not for construction.



ARCHITECTURAL STYLE ASPHALT SHINGLES
DARK GREY TO MATCH EXISTING DWELLING

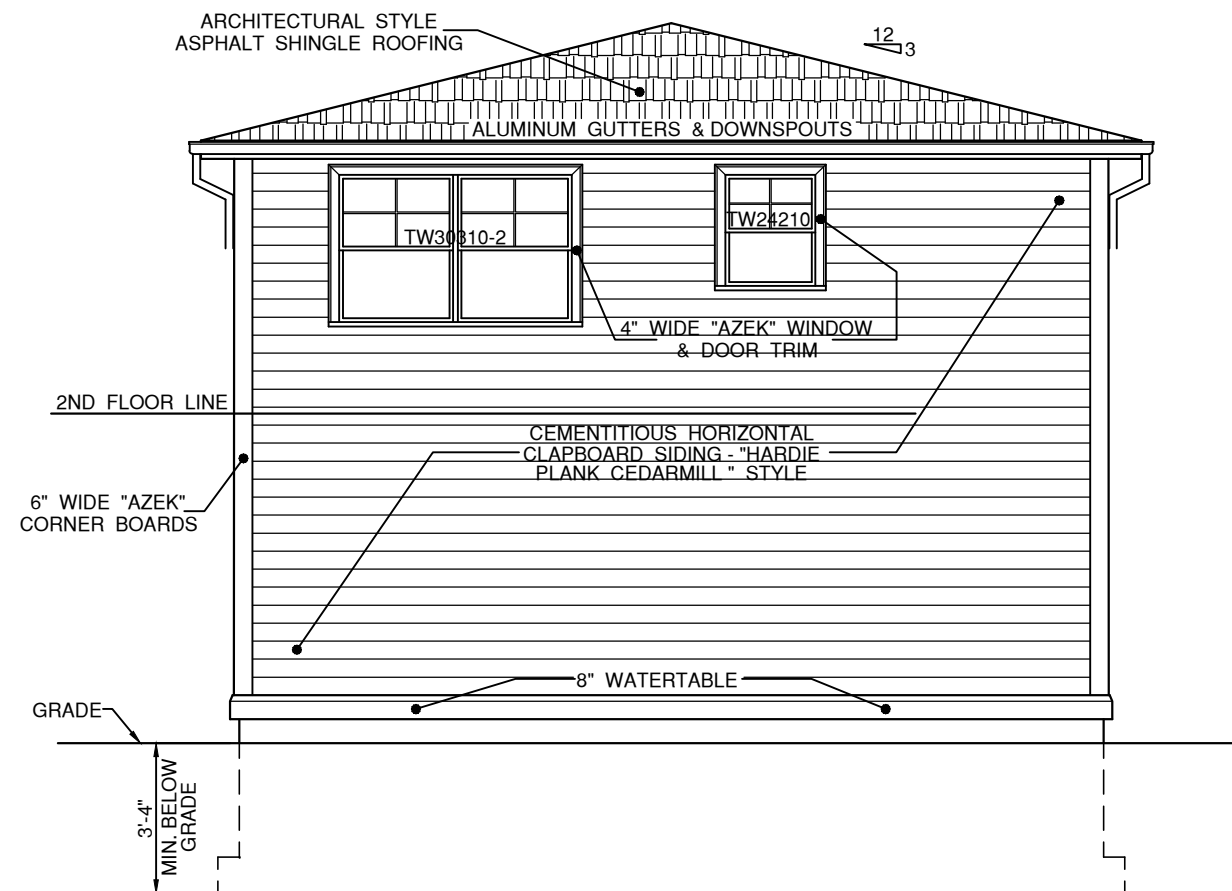
1 OF 2 DWGS.

PROPOSED FLOOR PLANS



PROPOSED SOUTH (FRONT) ELEVATION

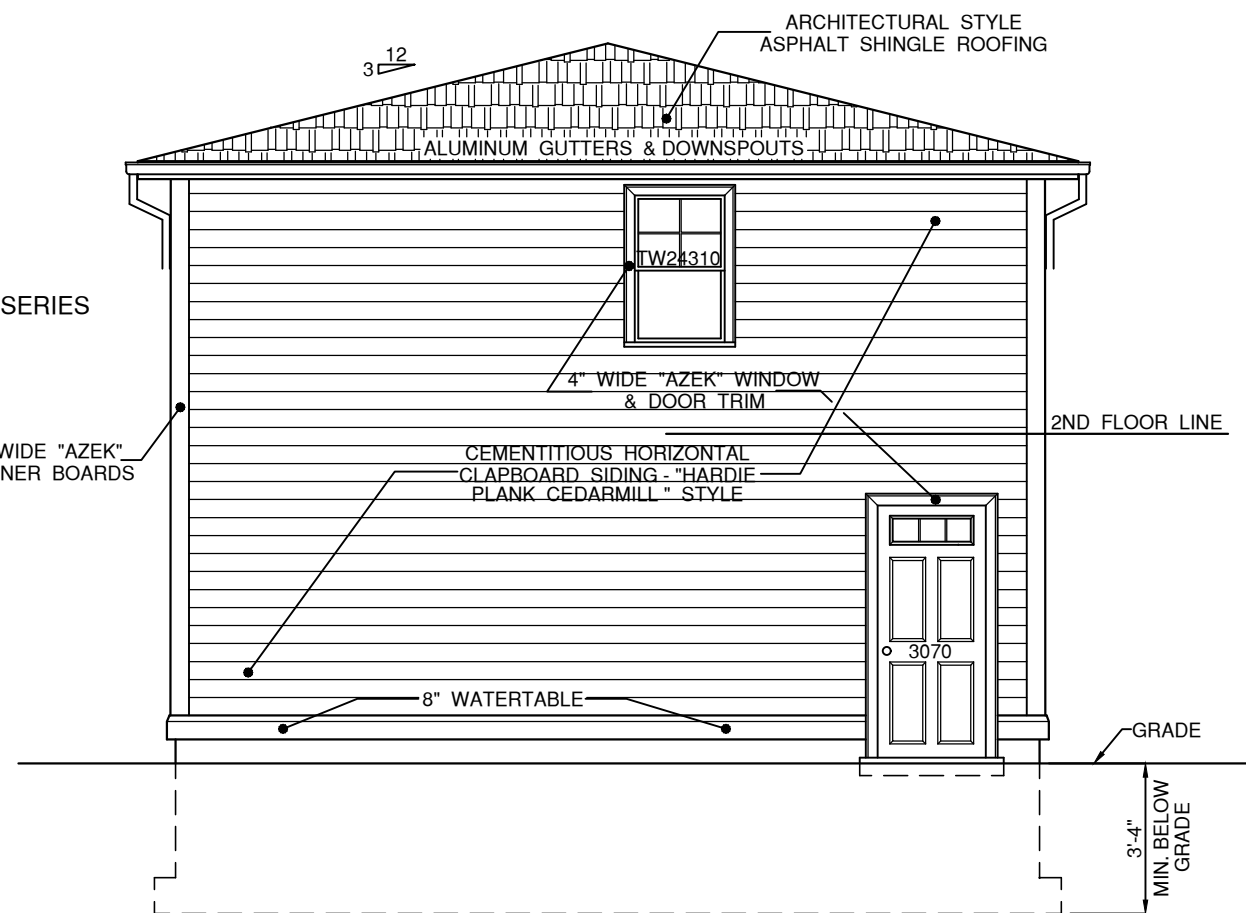
SCALE : 3/16" = 1'-0"



PROPOSED NORTH (REAR) ELEVATION

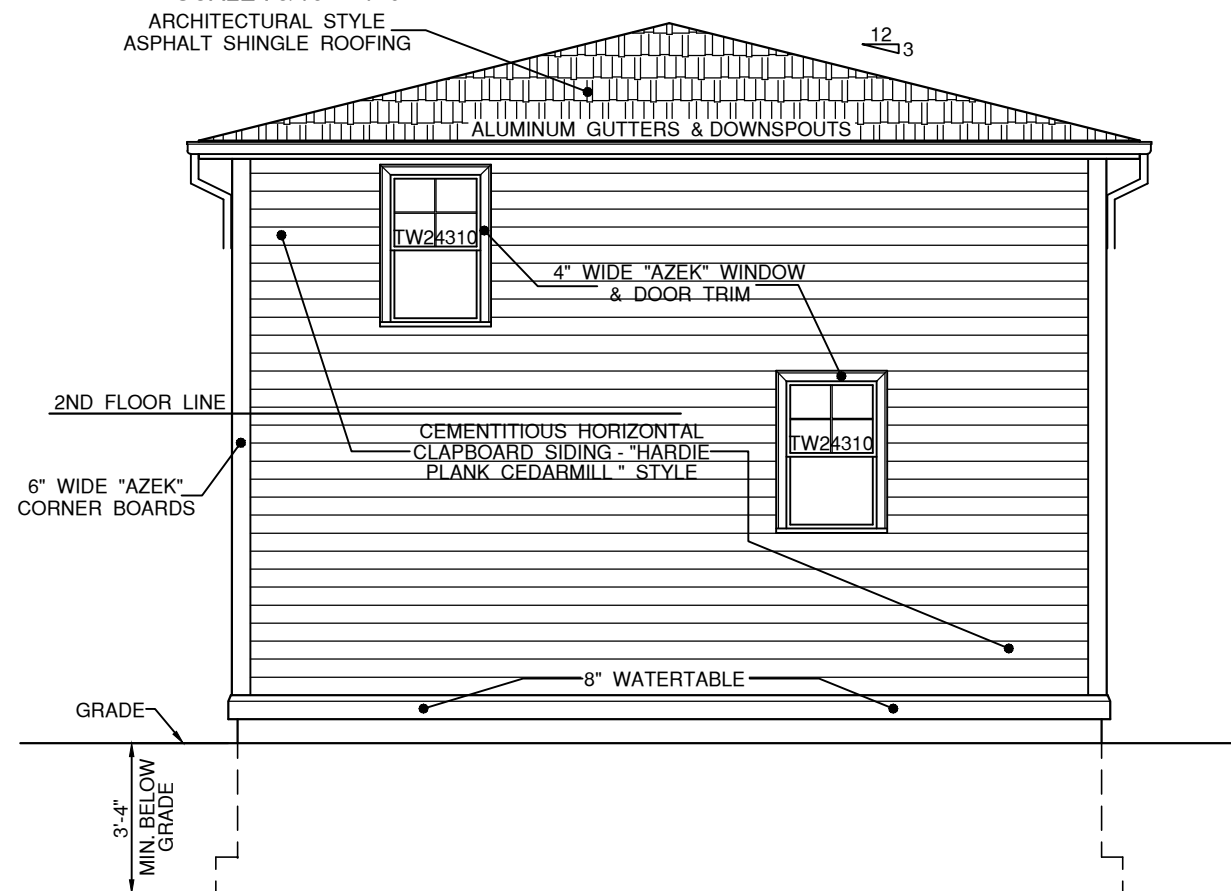
SCALE : 3/16" = 1'-0"

WINDOWS :
ANDERSEN 400 SERIES



PROPOSED EAST (RIGHT SIDE) ELEVATION

SCALE : 3/16" = 1'-0"



PROPOSED WEST (LEFT SIDE) ELEVATION

SCALE : 3/16" = 1'-0"

PROPOSED BUILDING ELEVATIONS

Project :
**PROPOSED 24' x 24' 2 - STORY,
2 - CAR GARAGE w / A.D.U. ABOVE**
42 HIDDEN STREET
PROVIDENCE, R.I.

Date : 4/13/26

Scale : As Noted

Drawn by : GB

A.P. : 9

Lot No. : 371

Drawing No. :

2

2 OF 2 DWGS.