

CITY OF PROVIDENCE

STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS

PETITION TO THE CITY COUNCIL

TO THE HONORABLE CITY COUNCIL OF THE CITY OF PROVIDENCE:

The undersigned respectfully petitions your honorable body

My name is Lindsey Morel, I am a resident in District 10 in the City of Providence, RI. I am writing to formally request a zoning change for my property located at 1331 Eddy Street, Providence, RI 02905, which is currently zoned as an R-3 Residential District. I am requesting that the property be rezoned to an RP (Residential Professional) District to allow for the operation of a professional business office and/or beauty salon service business.

The property is located within an area that already reflects a mix of residential and commercial uses, including convenience stores, barber shops, professional tax services, restaurants, daycare facilities, and corporate offices. Additionally, Eddy Street serves as a major roadway and an important commercial corridor within Providence. Given the existing character and development pattern of the surrounding neighborhood, I believe the proposed zoning change is consistent with the area's ongoing growth and evolution.

This request would allow for responsible development while maintaining compatibility with surrounding uses. I also reside at the property and intend to personally operate my business from this location, which reflects my commitment to preserving and contributing positively to the neighborhood and community.

Attached are supporting documents for your review, including an ArcGIS Web Map, Property Record Card, and my Real Estate Broker License in support of my intended business use.

I respectfully request that the City Council review and consider approval of this zoning change request. I am available to attend any meetings or hearings and provide any additional information that may be required.

Thank you for your time, assistance, and consideration.

CATALIS[®]

Providence, RI


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Disclaimer: This information is for tax assessing purposes and is not warranted

Parcel Identification

Map/Lot 58-287
 Account 26530
 State Code 01 - Single Family
 Card 1/1
 User Account 05802870000

Assessment

Land \$123,800
 Building \$265,400
 Card Total \$389,200
 Parcel Total \$389,200

Prior Assessments

Fiscal Year	Land Value	Building Value	Outbuilding Value	Total Value
2025	\$123,800	\$265,400	\$0	\$389,200
2024	\$78,400	\$256,700	\$0	\$335,100
2023	\$78,400	\$256,700	\$0	\$335,100
2022	\$78,400	\$284,500	\$0	\$362,900
2021	\$51,600	\$187,900	\$0	\$239,500

Location and Owner

Location 1331 EDDY ST
 Owner Lindsey R Morel
 Owner2
 Owner3
 Address 1331 Eddy St
 Address2
 Address3 Providence RI 02905

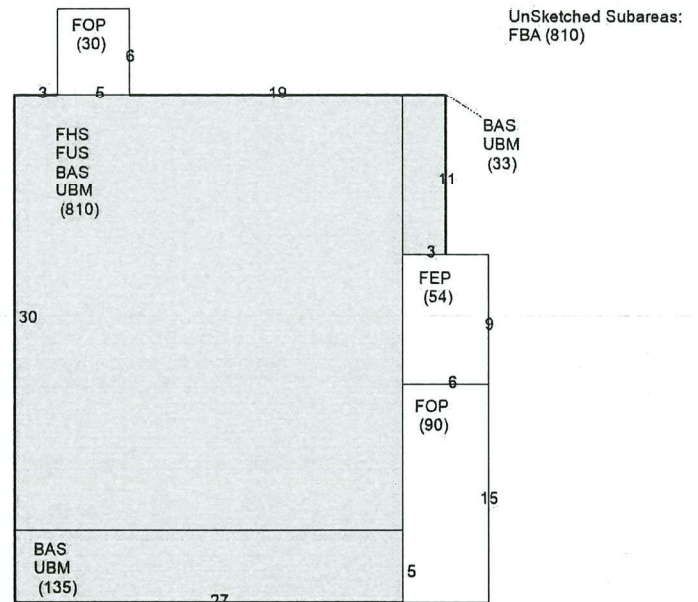
Building Information

Design Colonial
 Year Built 1930
 Heat Forced Hot Water
 Fireplaces 0
 Rooms 0
 Bedrooms 0
 Bathrooms 3 Full Bath
 Above Grade Living Area 2,193 SF

Sale Information

Sale Date	Sale Price	Legal Reference	Instrument
03/29/2018	\$0	11996-22	Q DEED
12/08/2004	\$0	6972-261	Q DEED
01/24/2002	\$0	4999-126	Q DEED

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Building Sub Areas

Sub Area	Net Area
Basement	978 SF
FBM Average	810 SF
Finished Enclosed Porch	54 SF
Finished Half Story	405 SF

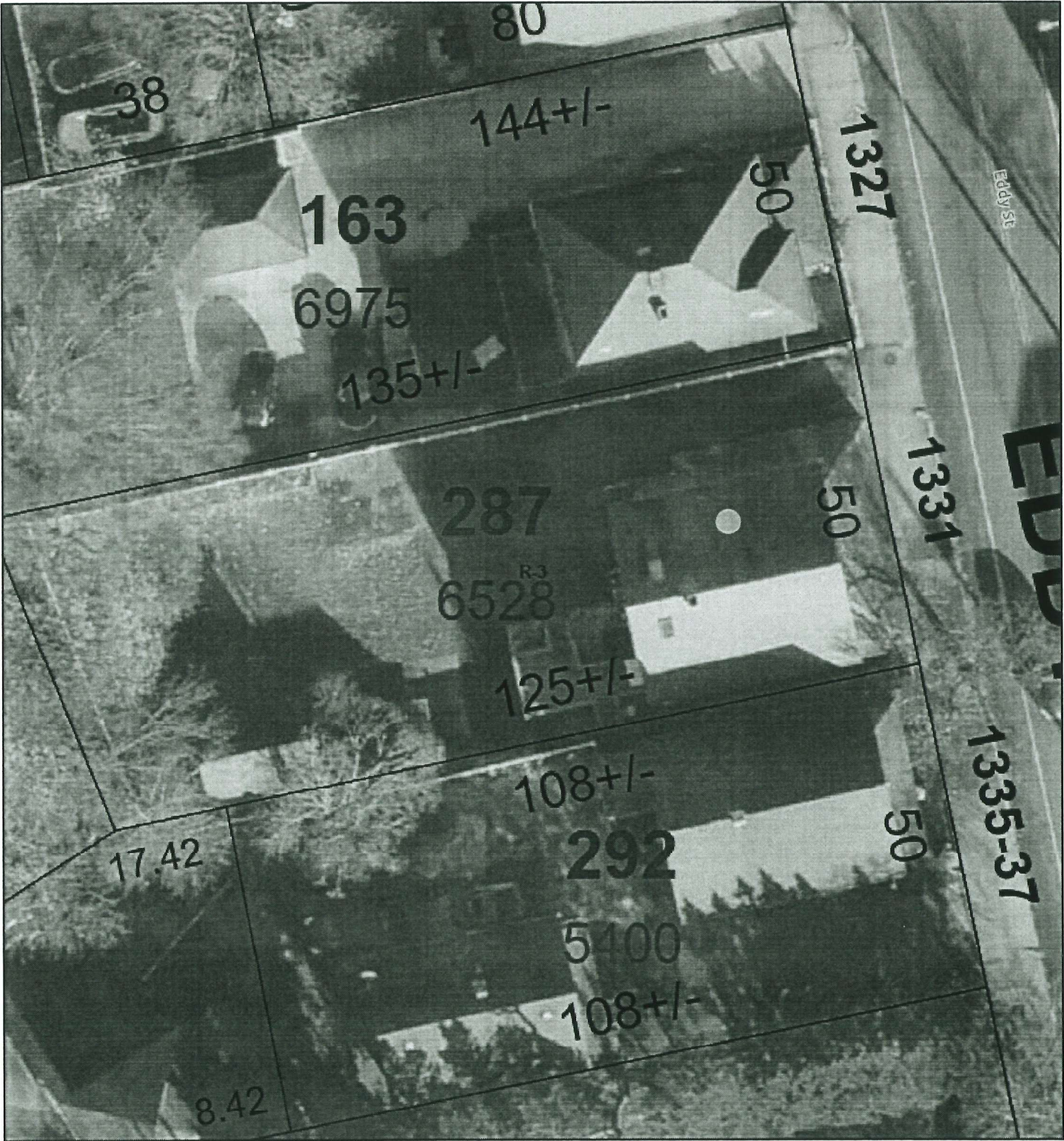
Finished Upper Story	810 SF
First Floor	978 SF
Open Porch	120 SF

Land Information

Land Area	6,528 SF
View	
Neighborhood	1240

Yard Item(s)

ArcGIS Web Map



6/12/2026, 12:31:45 PM

Providence Area

Parcels with CAMA

Base Zoning

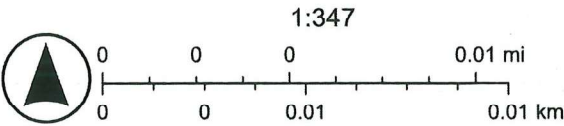
R-3

Rhode Island Aerial Photographs (November 2025)

Red: Red

Green: Green

Blue: Blue



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community