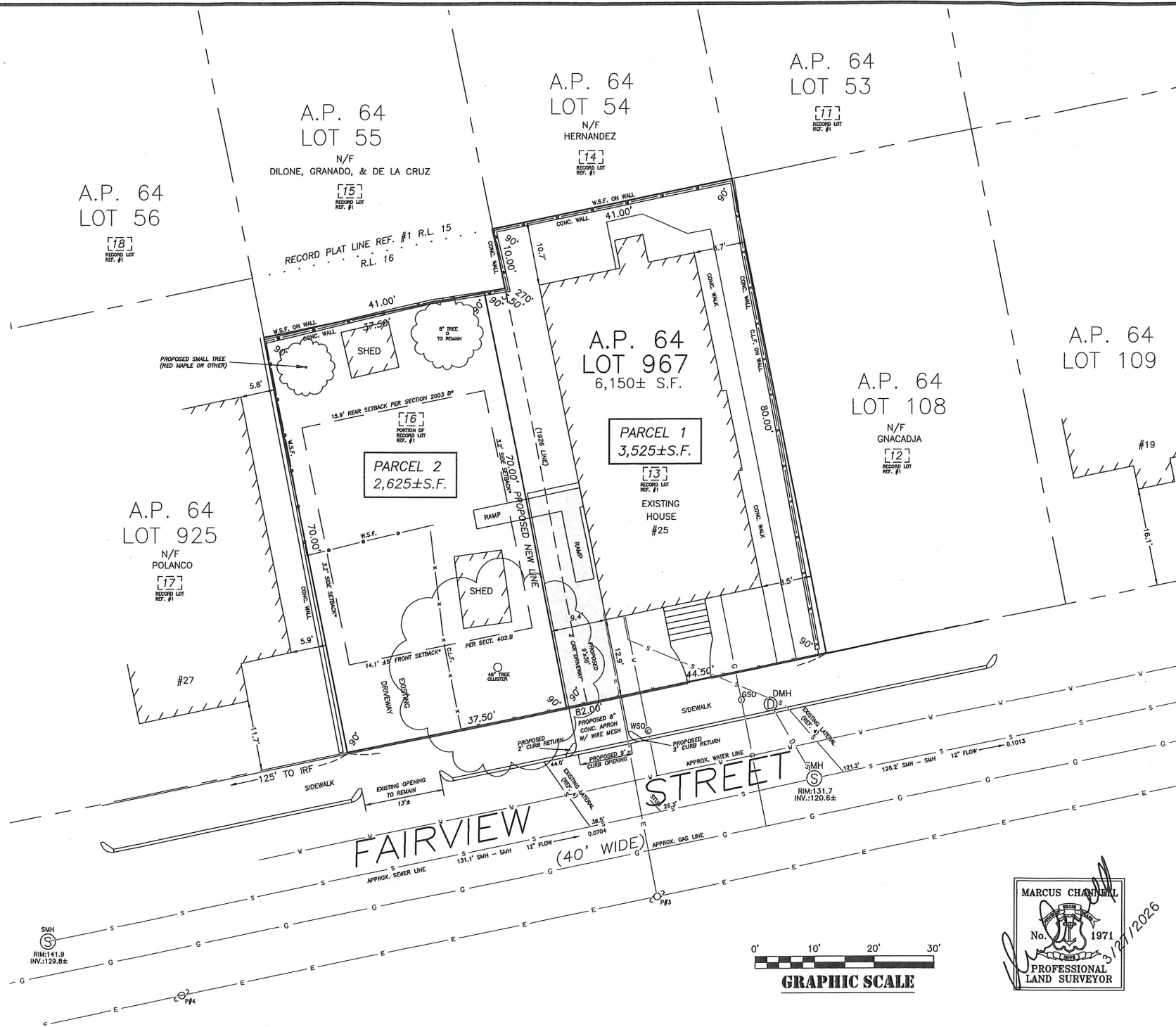




EROSION CONTROL NOTES:

EROSION CONTROL PROGRAM
PRIOR TO START OF CONSTRUCTION, HAYBALES, SILT FENCES & ALL OTHER SPECIFIED EROSION CONTROL FENCES SHALL BE IN PLACE. CRITICAL AREAS SUCH AS WETLAND AREAS, SLOPES & STREAMS SHALL BE PROTECTED AS PER PLAN AND, IN THE PRESENCE OF WETLANDS, THE CONDITIONS OF THE ASSENT ORDER SHALL BE ADHERED TO. THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH AND FULLY MAINTAIN ALL REQUIRED EROSION AND SEDIMENTATION CONTROLS.

SEDIMENTATION CONTROL PROGRAM
ALL EXPOSED SLOPES, INCLUDING STOCKPILES OF MATERIAL, SHALL RECEIVE TEMPORARY SEDIMENTATION & EROSION CONTROLS. THIS WILL INCLUDE LOAMING & SEEDING, MULCHING, HAYMATS, ETC TO STABILIZE THE AREA. ALL DRAINAGE STRUCTURES SHALL BE SURROUNDED BY HAYBALES TO PREVENT INFILTRATION OF SEDIMENTS.

SHOULD SEDIMENTS ENTER A CRITICAL AREA (WETLAND, BUFFER ZONE, ADJUTING PROPERTY) THE CONTRACTOR SHALL IMMEDIATELY CLEAN & RESTORE THE EFFECTED AREA.

GENERAL NOTES

- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY & ALL PERMITS REQUIRED BY THE STATE & THE MUNICIPALITY IN WHICH WORK IS BEING PERFORMED PRIOR TO START OF ANY WORK.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DOCUMENT EXISTING CONDITIONS OF SURROUNDING PROPERTIES & TO MAINTAIN THE INTEGRITY OF SAME. ANY DAMAGE TO & THE COST OF REPAIRS OF UTILITIES, ROADWAYS, STRUCTURES & SURROUNDING PROPERTY SHALL BE FULLY BORNE BY THE CONTRACTOR.
- ALL WORKMANSHIP & MATERIALS SHALL MEET OR EXCEED THE LATEST STANDARDS OF THE MUNICIPALITY, AND THE LATEST STATE STANDARDS & SPECIFICATION PUBLISHED FOR ROAD & BRIDGE CONSTRUCTION.
- CONTACT DIG-SAFE & UTILITY COMPANIES FOR EXACT ON-SITE LOCATION OF EXISTING UNDERGROUND UTILITIES AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN REQUIRED INSPECTION SCHEDULE OF THE MUNICIPALITY. UTILITY COMPANIES & ALL OTHER REQUIRED PARTIES & SHALL STRICTLY ADHERE TO THOSE REQUIREMENTS.
- ALL CONTRACTORS SHALL ADHERE TO ALL CONDITIONS OF CONSTRUCTION APPROVALS & SHALL KEEP A COPY OF ALL APPROVALS ON-SITE DURING CONSTRUCTION. CONTRACTOR SHALL READ ALL APPROVALS PRIOR TO START OF CONSTRUCTION & SHALL CLARIFY ANY QUESTIONS BEFOREHAND.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE. THIS PLAN SHOWS GENERAL GRADING ONLY AND ADDITIONAL DETAIL.

UTILITY NOTES:

ANY UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION PROVIDED. CONTACT ALL LOCAL UTILITY COMPANIES AND DIG SAFE (1-800-DIG-SAFE) PRIOR TO ANY CONSTRUCTION.

GENERAL NOTES:

ANY USE, APPROPRIATION, COPYING, DUPLICATION, ADAPTATION, OR MODIFICATION OF THIS PLAN WITHOUT THE PRIOR WRITTEN CONSENT OF ATLAS LAND SURVEYING, LLC IS STRICTLY PROHIBITED. THE CONTRACTOR SHALL CONSTITUTE A COPYRIGHT INFRINGEMENT. THIS PLAN HAS BEEN PREPARED FOR EXCLUSIVE USE BY THIS CLIENT AND FOR A SINGLE USE AND A SINGLE PURPOSE ONLY. BY ACCEPTING THIS PLAN, THE CLIENT AGREES TO THE ABOVE TERMS.

UNDERGROUND UTILITY LOCATIONS AS SHOWN HEREON ARE TAKEN FROM AVAILABLE RECORD AND FIELD INFORMATION AND ARE APPROXIMATE ONLY. NO ONE SHOULD RELY ON THE UTILITY LOCATIONS SHOWN FOR CONSTRUCTION AND DIG SAFE SHOULD BE NOTIFIED PRIOR TO ANY WORK BEING STARTED. ALL CONSTRUCTION IN THE PUBLIC ROW MUST BE IN ACCORDANCE WITH THE CITY'S DETAILS AT WWW.PROVIDENCE.CI.GOV/WP-CONTENT/UPLOADS/2019/06/PROVIDENCE-DPW-STANDARD-DETAILS.PDF

TREE NOTE:

REFER TO THE PROVIDENCE TREE LIST (DEPT. OF PUBLIC PARKS) FOR A LIST OF RECOMMENDED SPECIES. CONTACT CITY FORESTER FOR MORE INFO (401-785-9450)

FLOOD ZONE NOTE:

THIS LOT LIES WITH ZONE "X" ON MAP 44007C0306H
PANEL EFFECTIVE DATE: 10/2/2015

DATUM NOTE:

ELEVATIONS ARE BASED ON PLAN REFERENCE #3

STREET INDEX:

PER R.I.G.L. 34-13-1
LABAN STREET
GIFFORD STREET

FRONT SETBACK NOTES PARCEL 1:

FRONT SETBACK PER 402.B (BUILD TO ZONE AVERAGE ±5') PER FIELD DIMENSIONS OF EXISTING HOUSES WITHIN 100' ON EACH SIDE, THIS LOT REQUIRES BY AVERAGING A 4.4' FRONT SETBACK(±5').
#44-4.2', #40-3.6', #60-5.4' = 13.2'/3=4.4' ±5'

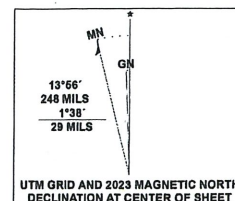
FRONT SETBACK NOTES PARCEL 2:

FRONT SETBACK PER 402.B (BUILD TO ZONE AVERAGE ±5') PER FIELD DIMENSIONS OF EXISTING HOUSES WITHIN 100' ON EACH SIDE, THIS LOT REQUIRES BY AVERAGING A 4.3' FRONT SETBACK(±5').
#60-5.4', #50-3.4', #44-4.2' = 13'/3=4.3' ±5'

MAGNETIC
MARCH 2026

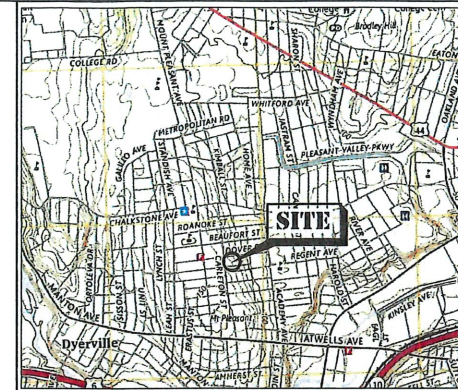
2003.D ZONING NOTE:

MIN. LOT AREA PER 2003.D: 2,500 SF
MIN. LOT WIDTH PER 2003.D: 25'



UTM GRID AND 2023 MAGNETIC NORTH
DECLINATION AT CENTER OF SHEET

RHODE ISLAND GENERAL LAWS: 11-22-1 & 11-44-11 FORBID THE REMOVAL OR DESTRUCTION OF ANY HIGHWAY MARKER OR PRIVATE SURVEY MARKER. PENALTY IS \$500 AND/OR UP TO ONE YEAR IN JAIL.



NOTES:

THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. THE CERTIFICATION OF THIS SURVEY IS A PROFESSIONAL OPINION BASED ON THE EXISTING FIELD AND DOCUMENTARY EVIDENCE AVAILABLE AT THE TIME THIS SURVEY WAS PREPARED. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP. OWNERSHIP IS SUBJECT TO AN OPINION OF TITLE. THIS SURVEY IS NOT A GUARANTEE OF TITLE.

NO ATTEMPT WAS MADE AS PART OF THIS SURVEY TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY, PUBLIC SERVICE FACILITY, OR UTILITY SERVICE LINES ON/TO/OVER/UNDER THE PROPERTY.

USE OF THIS SURVEY FOR PURPOSES OTHER THAN THAT WHICH IT WAS INTENDED, WITHOUT WRITTEN VERIFICATION, WILL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO THIS SURVEYOR. NOTHING HEREON SHALL BE INTENDED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE THE SURVEY WAS PREPARED FOR.

PLAN REFERENCES:

- "PLAT OF THE SOUTHERLY PORTION OF MOUNT PLEASANT" APRIL 1860 PLAT CARD 313
- "ADMINISTRATIVE SUBDIVISION 25 FAIRVIEW STREET" JUNE 2014 PLAT BOOK 87 PG. 134
- STREET LINE PLANS #55-23, #75-B-30
- SEWER PLAN #167-90 SEWER CARD 2630/44
- A.P. 33 DATED 1926

DEED REFERENCE:

- DEED BOOK 14655 PAGE 225

ZONING DISTRICT: R-3

MINIMUM AREA - 5,000 SF FOR NEW LOTS
PARCEL 1 HAS 3,525 S.F.
PARCEL 2 HAS 2,625 S.F.

MINIMUM FRONTAGE - 50' FOR NEW LOTS
PARCEL 1 HAS 44.50'
PARCEL 2 HAS 37.50'

MINIMUM SETBACKS: SEE PLAN
FRONT - PER 402.B - SEE PLAN
SIDE - 6' REQUIRED - SEE PLAN
REAR - 30' REQUIRED - SEE PLAN

*SETBACKS HAVE BEEN CALCULATED
PER RIGL 45-24-38(B) &
PROV. ZONING SECTION 2003(B)
(SEE SETBACK CALCULATIONS)

LEGEND:

IRS/IRF - IRON ROD SET/FOUND
IPF - IRON PIPE FOUND
DHS - DRILL HOLE SET
SPKF - SPIKE FOUND
W.S.F. - WOOD STOCKADE FENCE
PE/PG - PROPOSED ELEC/GAS
PW/PS - PROPOSED WATER/SEWER
SCO/BFP - SEWER CLEAN OUT WITH BACK FLOW PREVENTER
WSO/GSO - WATER/GAS SHUTOFF
WG/GG - WATERGATE / GAS GATE
GBF - GRANITE BOUND FOUND
x - SPOT GRADE
PVCF - PVC FENCE
SMH - SEWER MANHOLE
DMH - DRAIN MANHOLE

[28] - RECORD LOT # REF. #1

SURVEY CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATEBOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOV. 25, 2015, AS FOLLOWS:

TYPE OF SURVEY: MEASUREMENT SPECIFICATION

PERIMETER SURVEY CLASS I

DATA ACCUMULATION - FEATURES & TOPOGRAPHY CLASS III

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

PREPARE PLAN FOR PROPOSED DEVELOPMENT.

BY: *Marcus Channell* 3/27/2026
MARCUS CHANNELL, P.L.S. #1971 (LS-A479) DATE

DATE:	27 MARCH 2026				
DRAWN BY:	MC				
SCALE:	1"= 10'				
SHEET	1 OF 1 SHEETS				
JOB NO.:	26-0315				
DWG.	26-0315 MINOR SUB	NO.	DATE	REVISION	BY

2003.D MINOR SUBDIVISION

ASSESSOR'S PLAT 64 - LOT 967
25 FAIRVIEW STREET ~ PROVIDENCE, RI

PREPARED FOR:
AYALA PROPERTIES, LLC
174 HAROLD STREET - PROVIDENCE, RI 02908
PHONE: 401-965-2639
EMAIL: ama2639@icloud.com

ATLAS
LAND SURVEYING
2699 Post Road - Unit D - Warwick, RI 02886
www.atlaslandsurveying.com
atlaslandsurveying@yahoo.com
401-263-7353

PROVIDENCE ZONING DATA

REQUIREMENTS	REQUIRED	PROVIDED
ZONING DISTRICT: R-3 PROPOSED PARCEL 1 (EXISTING SINGLE FAMILY)		
MINIMUM LOT AREA	NEW LOTS: 5,000 SF EXISTING LOTS: NONE	3,525 SF
MINIMUM LOT WIDTH	NEW LOTS: 50' EXISTING LOTS: NONE	44.50'
MAX. BLDG. COVERAGE	45%	EXISTING 44%±
MAX. IMPERVIOUS COVERAGE FRONT YARD	33%	EXISTING 33%±
MAX. IMPERVIOUS COVERAGE REAR YARD	50%	EXISTING 23%±
TOTAL MAX. IMPERVIOUS COVERAGE	65%	EXISTING 64%±
TOTAL MIN. PERVIOUS COVERAGE	1,000 SF	1,500± SF
FRONT SETBACK (BTZ SECT. 402.B)	13.9' ±5'	EXISTING 12.9'
SIDE SETBACK	<60':6' >60':10'	EXIST. 9.4'± EXIST. 8.5'±
REAR SETBACK	30'	EXISTING 10.7'±
TREE CANOPY REQUIRED PER 1503.C	1057 SF	EXISTING TO REMAIN
PKG. PER 14-1	1 PER D.U.	2

PROVIDENCE ZONING DATA

REQUIREMENTS	REQUIRED	PROVIDED
ZONING DISTRICT: R-3 PROPOSED PARCEL 2		
MINIMUM LOT AREA	NEW LOTS: 5,000 SF EXISTING LOTS: NONE	3,525 SF
MINIMUM LOT WIDTH	NEW LOTS: 50' EXISTING LOTS: NONE	37.50'
MAX. BLDG. COVERAGE	45%	0%±
MAX. IMPERVIOUS COVERAGE FRONT YARD	33%	0%±
MAX. IMPERVIOUS COVERAGE REAR YARD	50%	0%±
TOTAL MAX. IMPERVIOUS COVERAGE	65%	0%±
TOTAL MIN. PERVIOUS COVERAGE	1,000 SF	0± SF
FRONT SETBACK (BTZ SECT. 402.B)	14.1' ±5'	14.1' ±5'
SIDE SETBACK	<60':6' >60':10'	3.2'
REAR SETBACK	30'	15.9'
TREE CANOPY REQUIRED PER 1503.C	788 SF	EX. TREE T.R. 1 SMALL TREE
PKG. PER 14-1	1 PER D.U.	TBD

(T.R.: TO REMAIN)

PROPOSED PARCEL 1

REQUIREMENTS	REQUIRED	PROVIDED
SETBACK CALCULATIONS:		
PER RIGL 45-24-38(B) PROV. ZONING SECTION 2003(B) 3250 / 5000 = 0.7		
FRONT - (PER SECTION 402.B) SEE PLAN SIDE - 6' x 0.7 = 4.2' REAR - 30' x 0.7 = 21'		

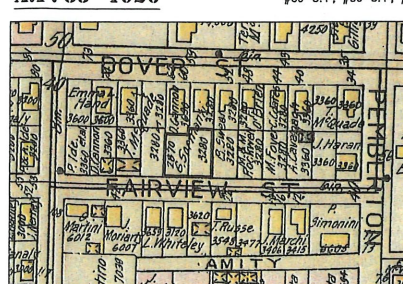
PROPOSED PARCEL 2

REQUIREMENTS	REQUIRED	PROVIDED
SETBACK CALCULATIONS:		
PER RIGL 45-24-38(B) PROV. ZONING SECTION 2003(B) 2500 / 5000 = 0.53		
FRONT - (PER SECTION 402.B) SEE PLAN SIDE - 6' x 0.53 = 3.2' REAR - 30' x 0.53 = 15.9'		

*SETBACK NOTE:

SETBACK CALCULATIONS SHOULD BE CONFIRMED WITH THE ZONING DEPARTMENT PRIOR TO ANY DESIGN WORK BEGINNING.

A.P. 33 - 1926



2003.D ZONING NOTE:

MIN. LOT AREA PER 2003.D: 2,500 SF
MIN. LOT WIDTH PER 2003.D: 25'