

PROPOSED RENOVATION DRAWINGS FOR:
RI LATINO ARTS MUSEUM

PROJECT # 7529
393 EDDY STREET
PROVIDENCE, RI 02903
ISSUED FOR: CONSTRUCTION (08-27-2026)



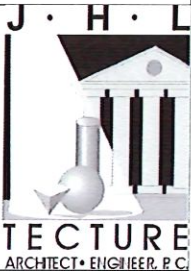
PROJECT DIRECTORY

OWNER
BROWN UNIVERSITY REAL ESTATE
350 EDDY ST CAMPUS BOX 1902
PROVIDENCE, RI 02903

PROJECT CONTACT
JOSH AGOSTINI
ELITE CONSTRUCTION & DESIGN, LLC
243 NARRAGANSETT PARK DRIVE
RUMFORD, RI 02916

ARCHITECT
JHL TECTURE A.E. P.C.
HORNELL STUDIO
97 MAIN STREET
HORNELL NY 14843
607-324-4329

BRISTOL STUDIO
190 HIGH STREET
BRISTOL, RI 02809
401-396-9630



LOCUS MAP

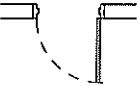
PROJECT LOCATION
PROPERTY ID: 021-309



PROJECT DRAWING LIST

GENERAL	
TITLE SHEETS	
T50.00	TITLE SHEET
T50.01	NOTES, SYMBOLS AND ABBREVIATIONS
SITE	
A50.01	SITE PLAN
ARCHITECTURAL	
CODE REVIEW	
CRI.01	BUILDING CODE REVIEW AND LIFE SAFETY PLANS
EXISTING / DEMOLITION PLANS	
A0.01	EXISTING FIRST FLOOR PLAN
PROPOSED PLANS	
A1.01	PROPOSED FIRST FLOOR PLAN
EXTERIOR BUILDING ELEVATIONS	
A2.01	PROPOSED BUILDING ELEVATIONS

DRAWING SYMBOLS

 COLUMN NOTATION	 REVISION AREA
ROOM NAME  ROOM NAME/NUMBER	BUILDING SECTION NUMBER DRAWING WHERE IT IS SHOWN  
ROOM NAME  ROOM NAME/NUMBER	WALL SECTION NUMBER DRAWING WHERE IT IS SHOWN 
DOOR  DOOR NUMBER	CONTRACT LIMIT LINE 
WINDOW TYPE  WINDOW TYPE	PROPERTY LIMIT LINE 
PARTITION TYPE  PARTITION TYPE	CENTERLINE 
ACCESSORY TYPE  ACCESSORY TYPE	BREAKLINE / PIPE BREAK 
KEYED NOTE  KEYED NOTE	ALIGN  ALIGN SURFACES
CEILING HEIGHT  CEILING HEIGHT	INTERIOR ELEVATION NUMBER DRAWING WHERE IT IS SHOWN 
EQUIPMENT TAG  EQUIPMENT TAG	EXTERIOR ELEVATION NUMBER DRAWING WHERE IT IS SHOWN 
ELEVATION NOTATION  ELEVATION NOTATION	DETAIL NUMBER OR ENLARGED AREA DRAWING WHERE IT IS SHOWN 
START POINT  START POINT	DATUM POINT  DATUM POINT
NORTH ARROW  NORTH ARROW	ITEM ABOVE OR BELOW 
GWB & STUD PARTITION  GWB & STUD PARTITION	CMU PARTITION  CMU PARTITION
NEH DOOR (MATERIAL INDICATION VARIES)  NEH DOOR (MATERIAL INDICATION VARIES)	MATCH LINE  MATCH LINE
SCALE:  SCALE:	BAR SCALE  BAR SCALE

GRAPHIC SYMBOLS

	EARTH		CONCRETE MASONRY UNIT		FINISH WOOD		OTHER METAL
	GRAVEL		BRICK		PRECAST CONCRETE		PLASTER, MORTAR, SAND, GYPSUM
	CONCRETE		BLOCKING		STEEL		RIGID INSULATION
	BATT INSULATION		PLYWOOD		CEILING TILE		GLASS (LARGE SCALE)

GENERAL NOTES

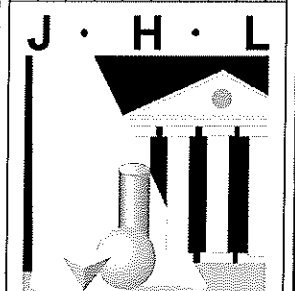
1. DESIGN, CONSTRUCTION AND SAFETY SHALL CONFORM TO ALL LOCAL, STATE AND OWNER SPECIFIC CODES, INCLUDING (BUT NOT LIMITED TO) THE INTERNATIONAL BUILDING CODE, 2001 780CMR-6TH EDITION, MASSACHUSETTS STATE BUILDING CODE, WITH AMENDMENTS, OSHA, AND ANY OTHER CODES GOVERNED BY THE JURISDICTION IN WHICH THIS PROJECT IS BEING CONSTRUCTED.
2. THIS CONTRACT REQUIRES COMPLETE, FINISHED WORKABLE PROJECT OF THE AREAS INDICATED BY THE CONTRACT DOCUMENTS, AND SHALL INCLUDE ALL MATERIALS AND LABOR NECESSARY TO COMPLETE, REGARDLESS OF WHETHER OR NOT ALL WORK OR EACH ITEM IS SPECIFICALLY INDICATED ON ANY OTHER PORTION OF THE DRAWINGS AND/OR NOTES.
3. WHEN MATERIALS OR EQUIPMENT ON DRAWINGS, OR NECESSARY TO COMPLETE THE WORK OF THIS CONTRACT ARE NOT SPECIFIED HEREIN, PROVIDE BEST QUALITY MATERIALS. ALL WORK WHICH HAS BEEN DAMAGED SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER. WHERE ITEMS CAN NOT BE REPAIRED TO A 'NEW CONDITION', OR WHERE THE STRUCTURAL INTEGRITY HAS BEEN AFFECTED, ITEMS SHALL BE REPLACED AT NO COST TO THE OWNER.
4. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF EXISTING WORK TO REMAIN.
5. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL SITE, FIELD AND BUILDING CONDITIONS PRIOR TO SUBMITTING BIDS AND COMMENCING WORK. IF THERE ARE ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS, NOTIFY THE CONSTRUCTION MANAGER AND ARCHITECT IMMEDIATELY AND REQUEST CLARIFICATION.
6. CONTRACTOR SHALL OBTAIN FROM OWNER ALL REQUIREMENTS FOR INSTALLATION OF OWNER PROVIDED EQUIPMENT INCLUDING ROUGHING DIAGRAMS, INSTALLATION INSTRUCTIONS, ELECTRICAL SCHEMATICS, TEMPLATES, LAYOUTS AND DIMENSIONS AND ALL OTHER INFORMATION NECESSARY FOR A PROPER, WELL COORDINATED INSTALLATION. PRIOR TO ROUGH-IN OF SERVICES, CONFER WITH OWNER EXACT LOCATION OF ALL ITEMS.
7. ALL CONTRACTORS ARE TO COORDINATE THE WORK OF EACH OTHER, SO THAT THE WORK AND SCHEDULE ARE NOT IMPEDED. SCHEDULE WORK PROGRESS THROUGHOUT THE ENTIRE PROJECT TO PREVENT CONFLICTS AND INTERFERENCES. OBTAIN ALL NECESSARY INFORMATION SUCH AS SIZES, LOCATIONS, TEMPLATES, LAYOUT, DIMENSIONS AND ALL OTHER INFORMATION NECESSARY FOR A PROPER AND WELL COORDINATED INSTALLATION. PRIOR TO INSTALLATION OF ITEMS, VERIFY AND CONFIRM WITH EACH CONTRACTOR EXACT LOCATION OF ALL ITEMS.
8. ALL PENETRATIONS THROUGH FLOORS AND FULL HEIGHT WALLS TO BE FIRE STOPPED. ALL GAPS AND JOINTS AT RATED FLOORS, ROOFS AND WALLS TO BE FIRE & SMOKE STOPPED. GAPS AND JOINTS INCLUDE (BUT ARE NOT LIMITED TO) TOP OF WALL TO FLOOR OR ROOF DECK, WALL TO BEAMS, AND CONTROL OR EXPANSION JOINTS. FIRE STOPPING INCLUDES BOTH FORM OR PACKING MATERIAL AND THE FILL, VOID OR CAVITY MATERIAL.
9. EXTERIOR PERIMETER OF ALL WINDOWS, DOOR FRAMES, LOUVERS OR OTHER ITEMS INSERTED IN AN EXTERIOR WALL SHALL BE SEALED WEATHER TIGHT WHETHER INDICATED ON DRAWINGS OR NOT.
10. WOOD USED FOR BLOCKING OR OTHER PURPOSES ON OR ABOVE THE ROOF DECK, WITHIN 2'-0" OF GRADE AND OTHER LOCATIONS OUTSIDE THE BUILDING ENVELOPE WHERE EXPOSED TO THE WEATHER, SHALL BE PRESSURE TREATED TYPE. ALL INTERIOR WOOD FOR BLOCKING OR OTHER PURPOSES SHALL BE FIRE RETARDANT TYPE.
11. FINISHED DOOR FINISHES SHALL BE NOMINAL 6" FROM FINISHED CORNER OF ROOM AT HINGE SIDE, EXCEPT WHERE DIMENSIONED OTHERWISE. ON THE 'PULL' SIDE OF A DOOR OPENING THE STRIKE SIDE SHALL BE NOMINAL 18" FROM A PERPENDICULAR WALL. ON THE 'PUSH' SIDE OF A DOOR OPENING EQUIPPED WITH BOTH A CLOSER AND LATCH, THE STRIKE SIDE SHALL BE NOMINAL 12" FROM A PERPENDICULAR WALL.
12. SUSPENDED GRID CEILINGS SHALL BE ARRANGED SO THAT A GRID IS SPACED EQUALLY FROM EACH MOST REMOTE WALL, IN EACH DIRECTION, WITH NO TILE LESS THAN 6" UNLESS OTHERWISE INDICATED. CEILING MOUNTED ITEMS TO BE CENTERLINE OF CEILING TILES, UNLESS OTHERWISE NOTED.
13. REMOVE DEBRIS AND OTHER MATERIALS RESULTING FROM DEMOLITION FROM SITE AS DEMOLITION WORK PROGRESSES. REMOVE RUBBISH FROM JOB SITE REGULARLY AND LEAVE PREMISES AND WORK IN CLEAN CONDITION. RUBBISH SHALL NOT BE ALLOWED TO ACCUMULATE AND SHALL BE APPROPRIATELY DISPOSED OF.
14. PRIOR TO COMPLETION, CLEAN PREMISES FOR OCCUPANCY BY OWNER. CLEANING SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - REMOVAL OF GREASE, MASTIC, ADHESIVE, DUST, DIRT, STAINS, LABELS AND OTHER FOREIGN MATERIALS FROM EXPOSED SURFACES.
 - VENTILATING SYSTEMS
 - A. CLEAN PERMANENT FILTERS AND REPLACE DISPOSABLE FILTERS IF UNITS WERE OPERATED DURING CONSTRUCTION.
 - B. CLEAN DUCTS, BLOWERS AND COILS IF UNITS WERE OPERATED WITHOUT FILTERS DURING CONSTRUCTION.
 - THE EXTERNAL SURFACE OF ALL EQUIPMENT SHALL BE CLEANED AT THE COMPLETION OF THE WORK TO REMOVE ALL CONCRETE, DUST AND DIRT, WELDING AND CUTTING SPLATTER, ETC.
15. PRIOR TO FINAL COMPLETION, OR OWNER OCCUPANCY, CONTRACTOR SHALL CONDUCT AN INSPECTION OF SIGHT-EXPOSED SURFACES, AND ALL WORK AREAS, TO VERIFY THAT THE ENTIRE WORK IS CLEAN.
16. ALL SPRAYED-ON FIREPROOFING (OR ANY OTHER MEANS OF FIRE PROTECTION) WHICH HAS BEEN DISTURBED, AFFECTED OR DAMAGED, SHALL BE REPAIRED TO MAINTAIN RATING PROTECTION.
17. SQUARE FOOTAGES SHOWN ON PLANS ARE FOR THE STATE DEPARTMENT AND DEPARTMENT OF HEALTH USE ONLY. CONTRACTOR TO VERIFY ALL SQUARE FOOTAGES.

GENERAL NOTES:

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4. Large scale plans of details shall take precedence over smaller scale drawings.
5. All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.
6. All work to be performed and inspected as required by the local governing code enforcement office.
7. All work is to be detailed in accordance with manufacturer's recommendations and specifications.

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ANY PERSON WHO ALTERS THIS DOCUMENT IS
REQUITED BY LAW TO AFFIX HIS OR HER SEAL AND
THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR
HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE
ALTERATIONS.

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#	REVISION DESCRIPTION	DATE	BY



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ISSUED FOR:
CONSTRUCTION (08-27-2026)



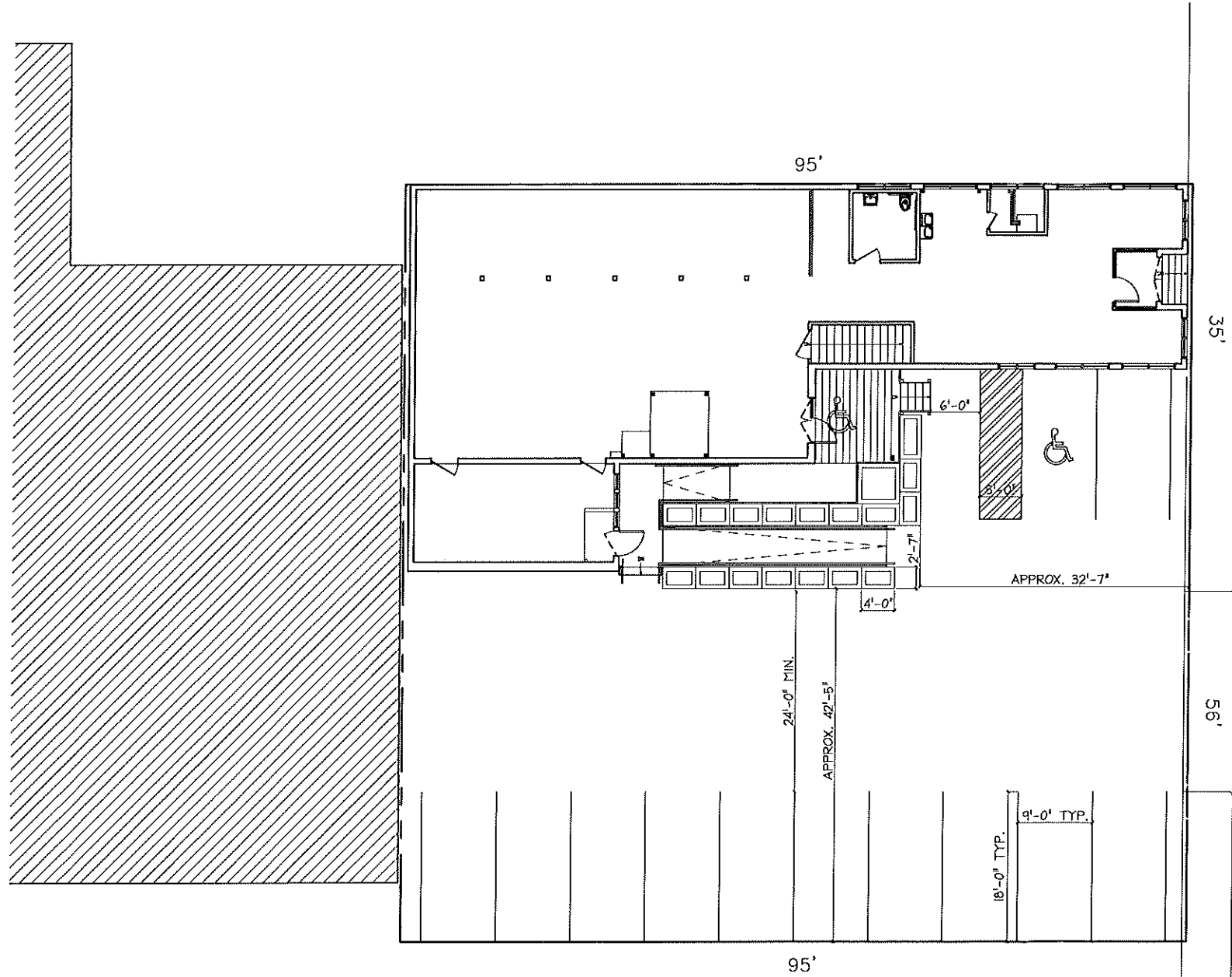
CONSTRUCTION
DRAWINGS FOR:

RI LATINO
ARTS

391 EDDY STREET
PROVIDENCE, RI 02903

NOTES,
SYMBOLS AND
ABBREVIATIONS

DATE: 11-09-23	DRAWING NUMBER:
SCALE: AS NOTED	TS0.01
DRAWN BY: CRC	
PROJECT NUMBER:	
7529	



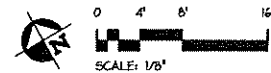
SITE PLAN
SCALE: 1/8" = 1'-0"

EDDY STREET

LOT COVERAGE

LOT AREA - 8654 SF
EXISTING BUILDING - 2955 SF

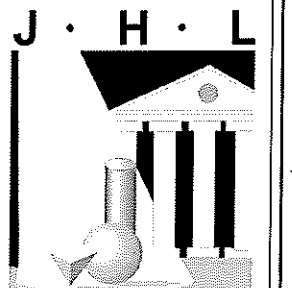
LOT COVERAGE RATIO - 2955/8654 SF = 34%



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ISSUED FOR:
CONSTRUCTION (08-27-2026)



CONSTRUCTION
DRAWINGS FOR:

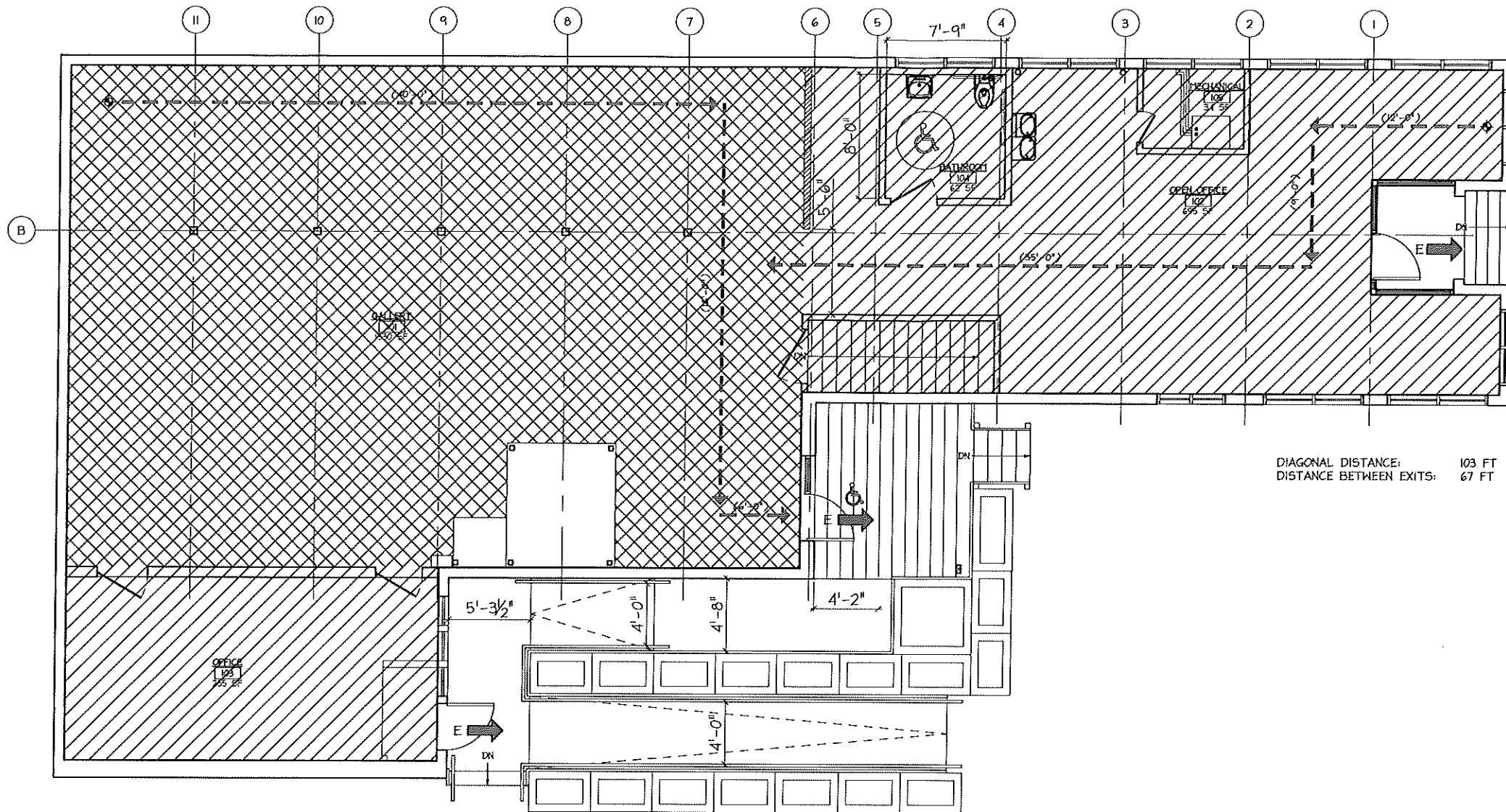
**RI LATINO
ARTS**

391 EDDY STREET
PROVIDENCE, RI 02903

SITE PLAN

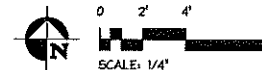
DATE: 08-18-26
SCALE: AS NOTED
DRAWN BY: AM
PROJECT NUMBER: 7529
DRAWING NUMBER: AS0.01

Project: Providence, Rhode Island
Architect: J.H.L. TECTURE
Title: FIRST FLOOR LIFE SAFETY PLAN
Scale: 1/4" = 1'-0"



FIRST FLOOR
LIFE SAFETY PLAN
SCALE: 1/4" = 1'-0"

DIAGONAL DISTANCE: 103 FT
DISTANCE BETWEEN EXITS: 67 FT



BUILDING SQUARE FOOT CALCULATIONS	
FIRE AREA	
FIRST FLOOR (GROSS)	275 SF
TOTAL	275 SF
LIFE SAFETY PLAN NOTES	
NOTES:	
1. ALL PENETRATIONS, NEW OR EXISTING, THROUGH FLOORS AND FULL HEIGHT WALLS TO BE FIRE STOPPED. ALL GAPS AND JOINTS AT RATED FLOORS, ROOFS AND WALLS TO BE FIRE & SMOKE STOPPED. GAPS AND JOINTS INCLUDE (BUT ARE NOT LIMITED TO) TOP OF WALL TO FLOOR OR ROOF DECK, WALL TO BEAMS AND CONTROL OR EXPANSION JOINTS. FIRE STOPPING INCLUDES BOTH FILL OR PACKING MATERIAL AND THE FILL VOID OR CAVITY MATERIAL. PLEASE SUBMIT PRODUCT LITERATURE FOR EACH PRODUCT USED FOR FIRE STOPPING INDICATING COMPLIANCE TO FIRE RATINGS.	
2. ITEMS ON PLAN INDICATE FINAL LOCATION AT COMPLETION OF CONSTRUCTION.	
3. PLAN IS CONCEPTUAL IN NATURE AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. REFER TO ELECTRICAL DRAWINGS FOR EMERGENCY LIGHTING AND FIRE DETECTION SYSTEMS.	
4. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING A SAFE WORK ENVIRONMENT.	
5. STORAGE UNDER STAIRS NOT ALLOWED.	
6. TO THE BEST OF MY KNOWLEDGE THE INFORMATION CONTAINED ON THIS DRAWING REPRESENTS THE ACTUAL FIELD CONDITIONS AND ADVISED MEASURES TO MAINTAIN COMPLIANCE WITH THE APPLICABLE BUILDING CODES.	
7. NOT ALL MECHANICAL AND ELECTRICAL LIFE SAFETY EQUIPMENT AND DEVICES ARE SHOWN ON THESE PLANS.	

OCCUPANT LOAD	
CONTRIBUTING TO SHARED EGRESS	
FIRST FLOOR	
MUSEUM AREA 1,462 SF ((SMALL ASSEMBLY @ 150 NET SF / OCC NET) = 10 OCC'S	
OFFICE AREA 1,165 SF ((BUSINESS @ 150 SF / OCC NET) = 8 OCC'S	
TOTAL	18 OCC'S

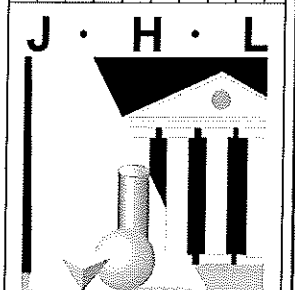
NUMBER OF OCCUPANTS AND PLUMBING FIXTURE CALCULATIONS			
FIXTURE COUNT:		TOTAL (REQUIRED)	TOTAL (PROVIDED)
BUSINESS (B)		REQUIRED	PROVIDED
18 OCCUPANTS			
TOILETS:			
18 TOTAL	1/25	1	1 UNISEX
LAVATORIES:			
18 TOTAL	1/40	1	1 UNISEX
URINALS:	NA	NA	NA
MEN (NOT > 67%)			
DRINKING FOUNTAINS:	1/100	1	TO BE PROVIDED
OTHER SERVICE SINK	1	1	1 (BASEMENT)
PER 2102.2 SEPARATE FACILITIES, EXCEPTION #4 - SEPARATE FACILITIES ARE NOT REQUIRED IN EXISTING STRUCTURES WITH A TOTAL OCCUPANT LOAD FEWER THAN 50.			

LIFE SAFETY SYMBOLS	
	EXIT
	HANDICAP 5'-0" TURNING RADIUS
	HANDICAP ACCESSIBLE ENTRANCE
	SCOPE OF WORK
	ONE-HOUR FIRE RATED CONSTRUCTION
	TWO-HOUR FIRE RATED CONSTRUCTION
	THREE-HOUR FIRE RATED CONSTRUCTION
	STARTING POINT OF TRAVEL DISTANCE
	MAXIMUM TRAVEL DISTANCE DESIGNATION (-150'-0")
	SMALL ASSEMBLY @ 150 sf/person
	BUSINESS @ 150 sf/person

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 - All work is to be installed in accordance with manufacturer's recommendations and specifications.

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ISSUED FOR:
CONSTRUCTION (08-27-2026)



CONSTRUCTION
DRAWINGS FOR:

RI LATINO
ARTS

391 EDDY STREET
PROVIDENCE, RI 02903

FIRST FLOOR
LIFE SAFETY
PLAN

DATE: 08-06-26
SCALE: AS NOTED
DRAWN BY: AM
PROJECT NUMBER: 7529

DRAWING NUMBER:
CR1.01

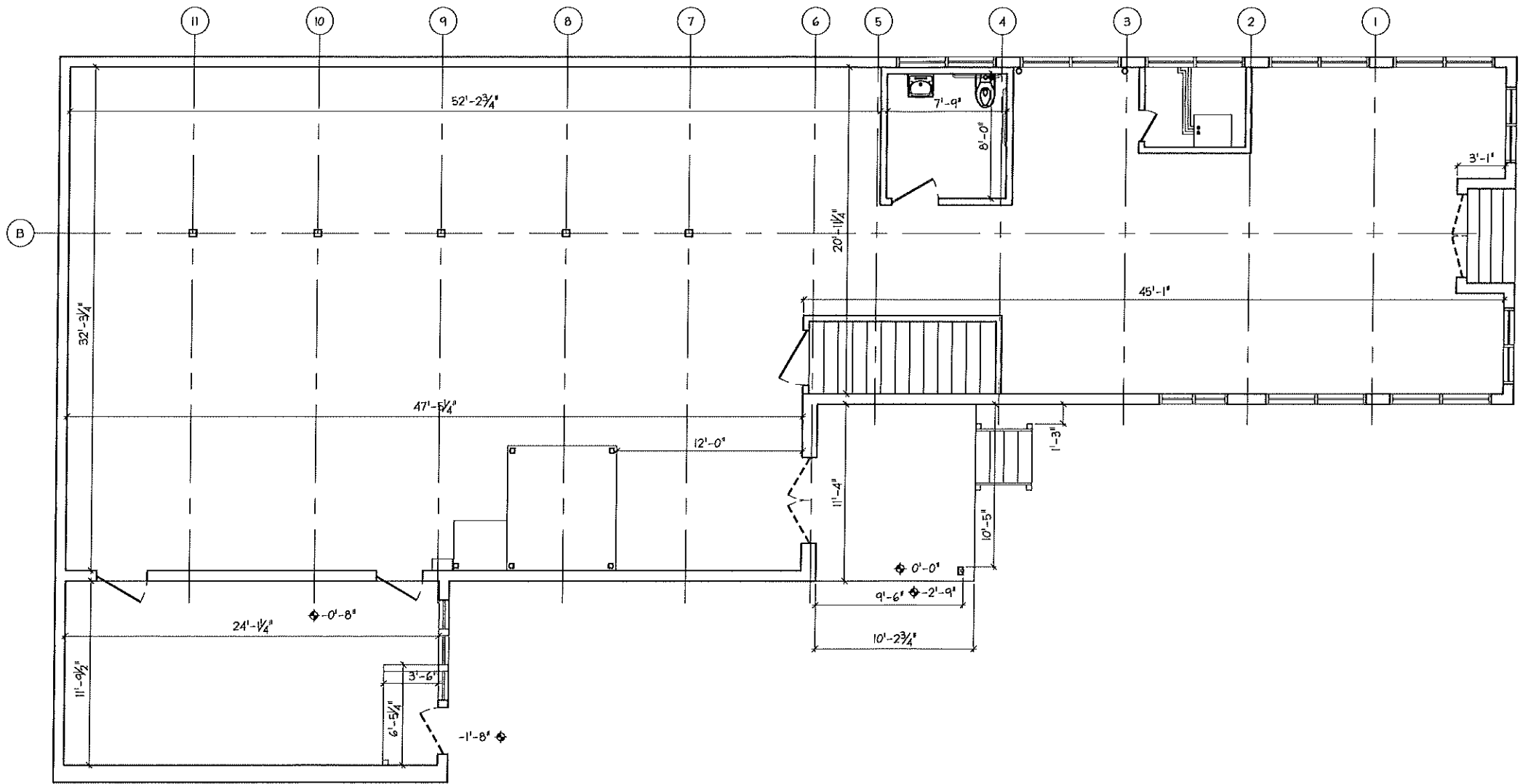
FIRST FLOOR DEMOLITION PLAN GENERAL NOTES

THIS DRAWING IS FOR GENERAL INFORMATION ONLY, AND DOES NOT INDICATE ALL DEMOLITION REQUIREMENTS. REFER TO THE DRAWINGS, SPECIFICATIONS, AND ACTUAL FIELD CONDITIONS TO DETERMINE THE FULL SCOPE AND PARTICULARS OF REMOVAL REQUIREMENTS. FOLLOWING IS A PARTIAL LIST OF ITEMS TO BE REMOVED.

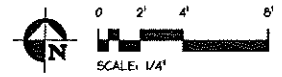
SYMBOLOLOGY

- ITEM ABOVE OR BELOW
- EXISTING WALL OR ITEM TO BE REMOVED ON DEMOLITION PLAN

1. PROTECT ALL EXISTING CONSTRUCTION TO REMAIN. ANY ITEMS OR WORK WHICH HAS BEEN DAMAGED SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER.
2. REMOVE ALL EXISTING HVAC, PLUMBING AND ELECTRICAL ITEMS.
3. CLEAN ALL MASONRY WALLS AS SPECIFIED AND PREPARE TO BE REPOINTED.
4. CLEAN CONCRETE FLOORS TO REMAIN AND PREPARE SURFACE TO RECEIVE SCHEDULED FINISH.
5. REMOVE LAYER OF EARTHEN FLOOR TO ACHIEVE 7'-6" CLEARANCE WITH EXISTING FLOOR JOISTS ABOVE AND PREPARE TO RECEIVE NEW FLOOR.
6. ALL WINDOWS AND EXTERIOR DOORS TO BE REMOVED AND PRESERVED AS SPECIFIED



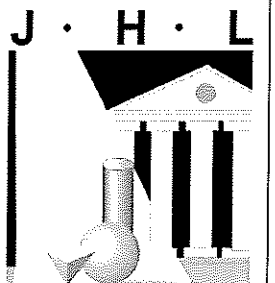
FIRST FLOOR
EXISTING PLAN
SCALE: 1/4" = 1'-0"



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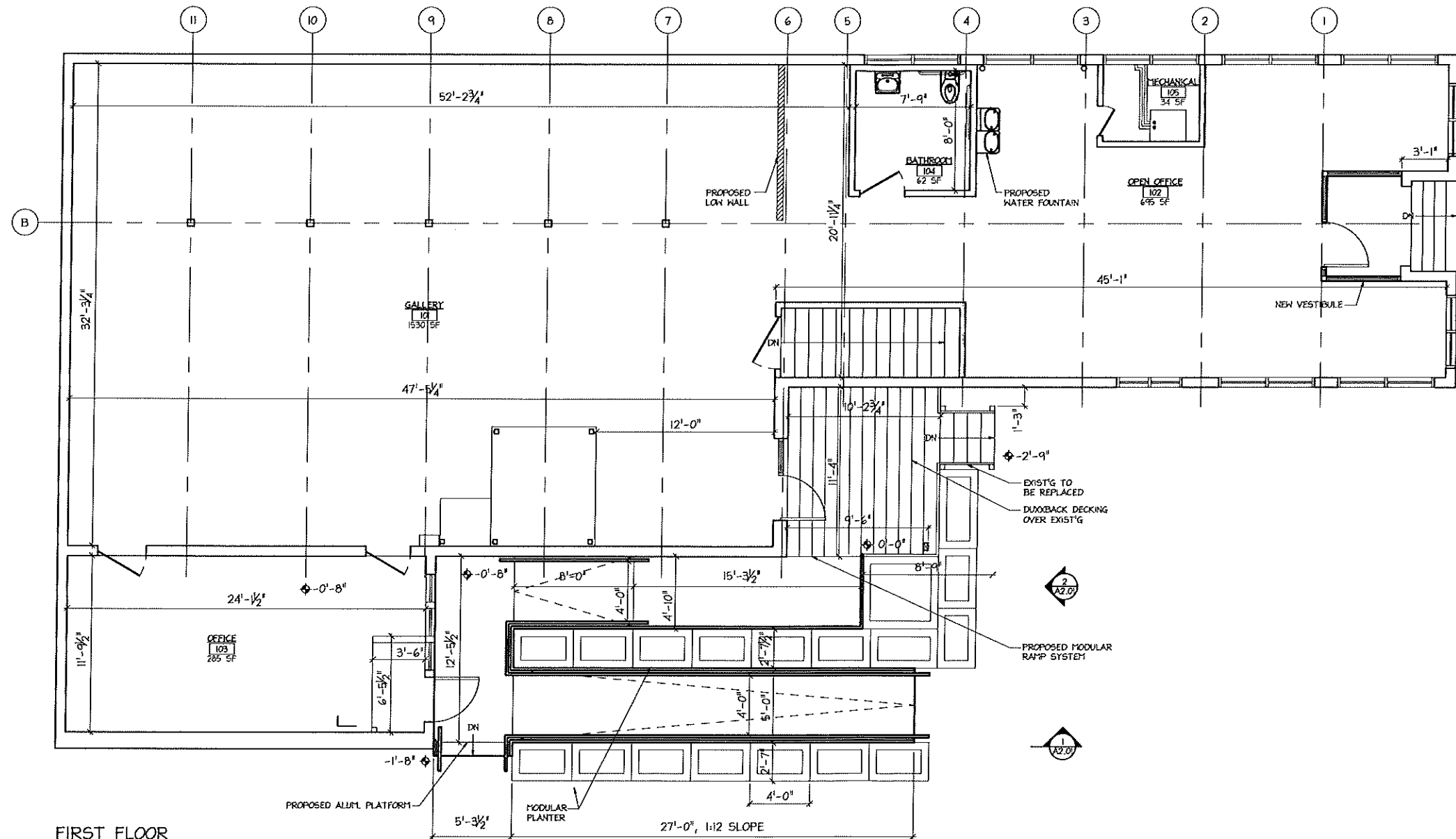
**RI LATINO
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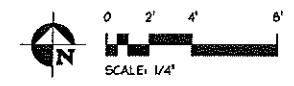
EXISTING
FIRST FLOOR
PLAN

DATE: 08-03-26
SCALE: AS NOTED
DRAWN BY: AH
PROJECT NUMBER:
7529

DRAWING NUMBER:
A0.01



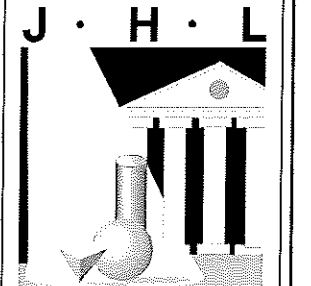
FIRST FLOOR
EXISTING PLAN
SCALE: 1/4\"/>



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TECTURE
ARCHITECT • ENGINEER, P.C.

190 High Street • Bristol RI 02809
401.396.9630 • Fax 401.410.0079

ISSUED FOR:
CONSTRUCTION (08-27-2026)



CONSTRUCTION
DRAWINGS FOR:

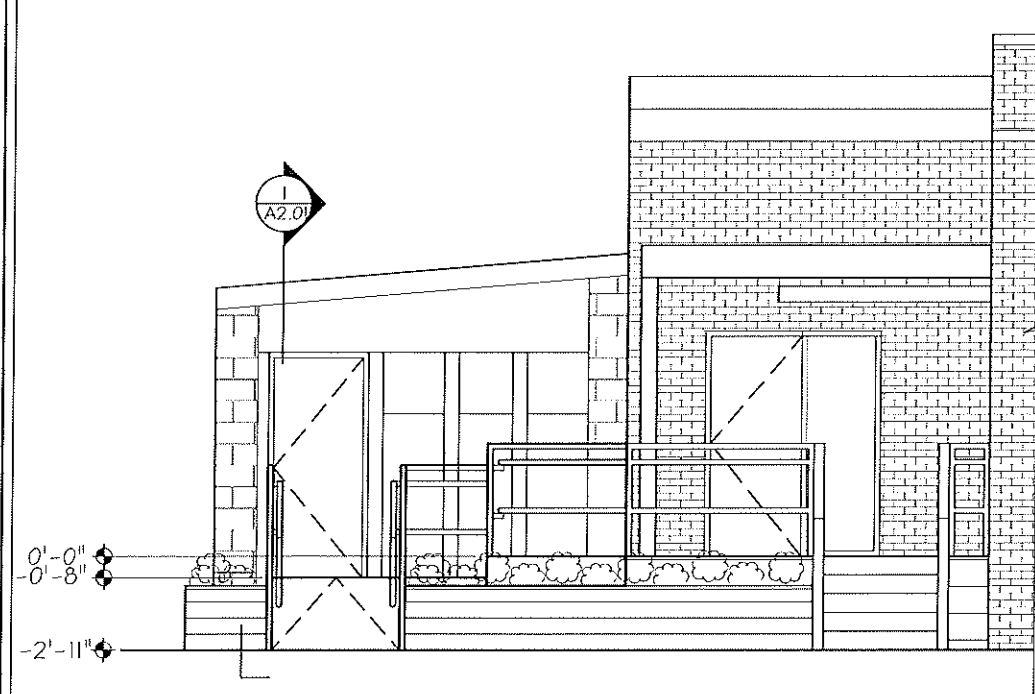
**RI LATINO
ARTS**

391 EDDY STREET
PROVIDENCE, RI 02903

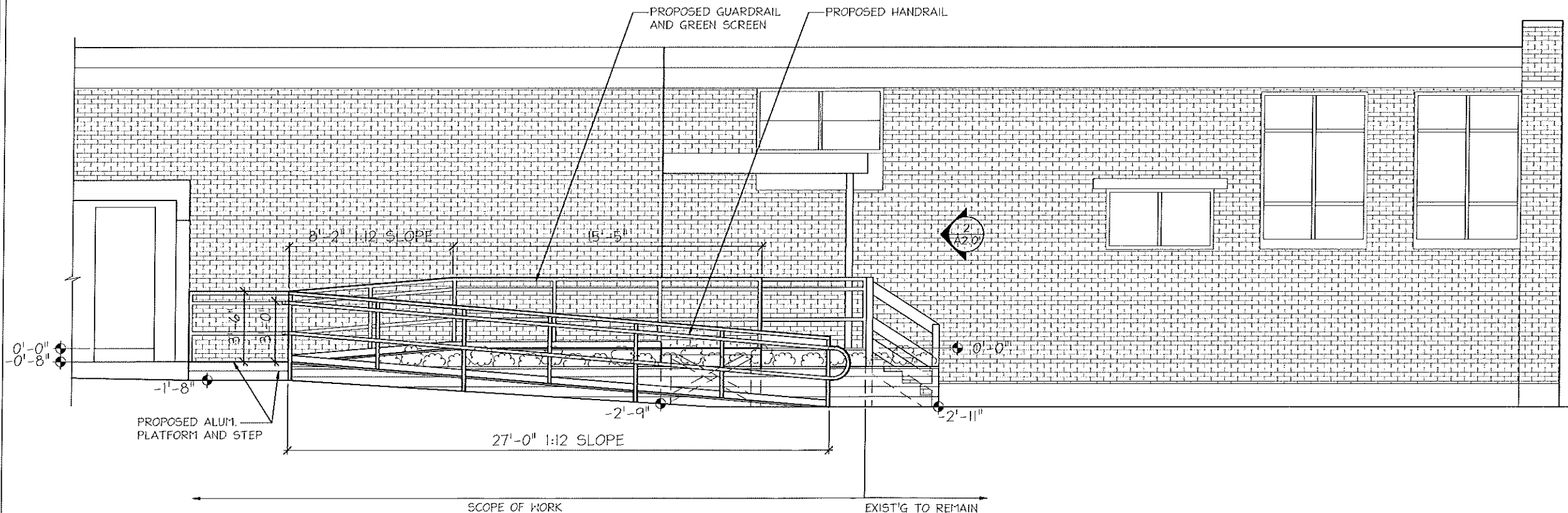
PROPOSED
FIRST FLOOR
PLAN

DATE: 06-03-26
SCALE: AS NOTED
DRAWN BY: AM
PROJECT NUMBER:
7529

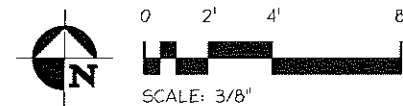
DRAWING NUMBER:
A1.01



2 PROPOSED EAST ELEVATION
SCALE: 3/8" = 1'-0"



1 PROPOSED SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



GENERAL NOTES:
1. DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.
2. Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.
3. The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.
4. Large scale plans of details shall take precedence over smaller scale drawings.
5. All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.
6. All work to be performed and inspected as required by the local governing code enforcement office.
7. All work is to be installed in accordance with manufacturer's recommendations and specifications.

CONTRACTOR'S CERTIFICATE:
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.
ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE SEAL IS ALTERED BY THE SIGNATURE OF HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

NO.	REVISION DESCRIPTION	DATE	BY

J. H. L.
TECTURE
ARCHITECT • ENGINEER, P. C.
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ISSUED FOR:
CONSTRUCTION (08-27-2026)



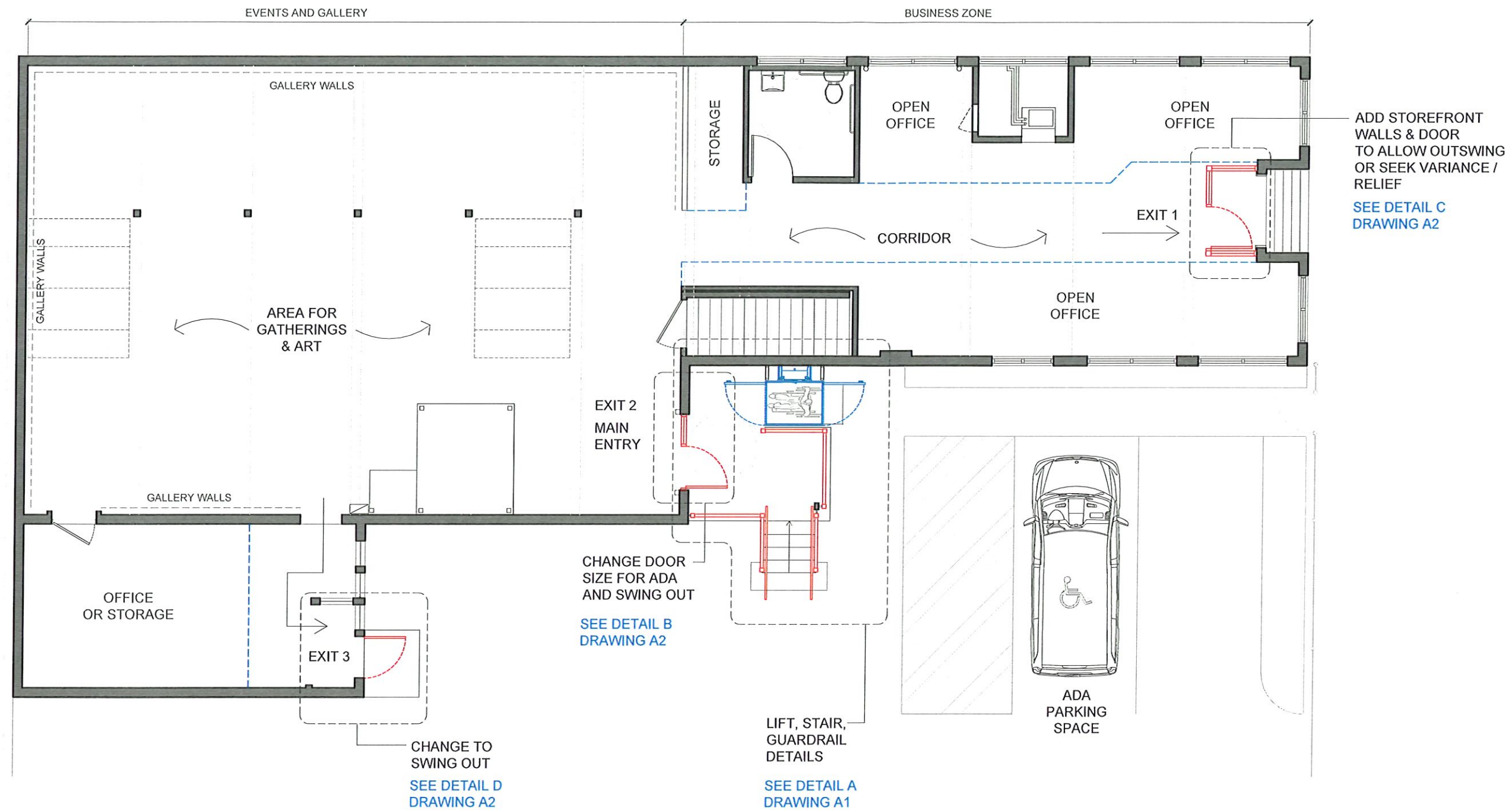
CONSTRUCTION
DRAWINGS FOR:

RI LATINO
ARTS

391 EDDY STREET
PROVIDENCE, RI 02903

PROPOSED
BUILDING
ELEVATIONS

DATE: 08-04-26
SCALE: AS NOTED
DRAWN BY: AM
PROJECT NUMBER: 7529
DRAWING NUMBER: A2.01



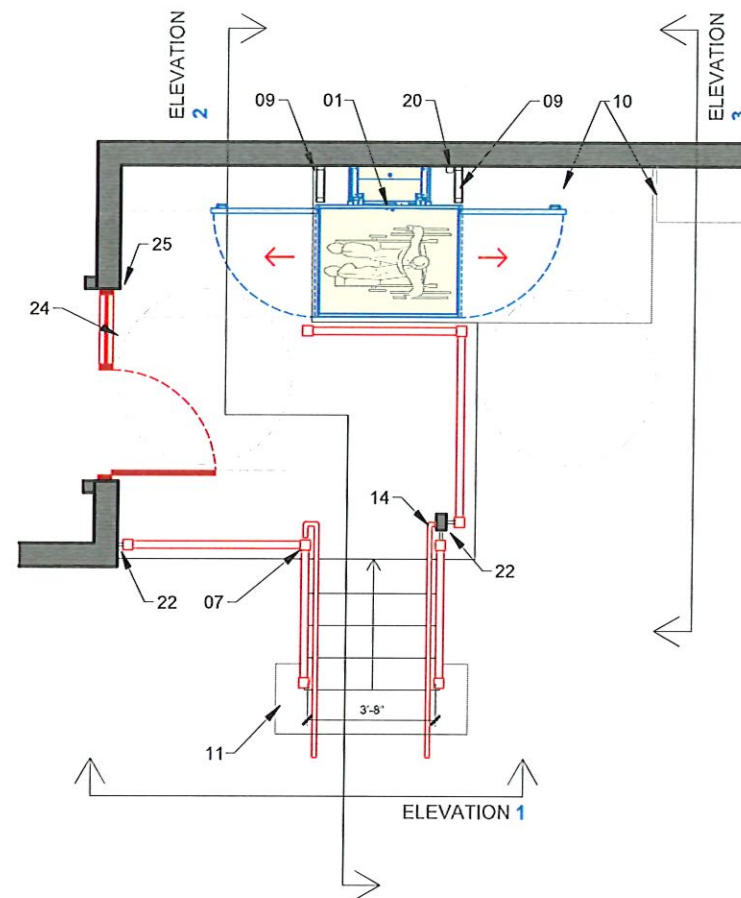
391 EDDY STRET

STUDY FOR
RI LATINO ARTS

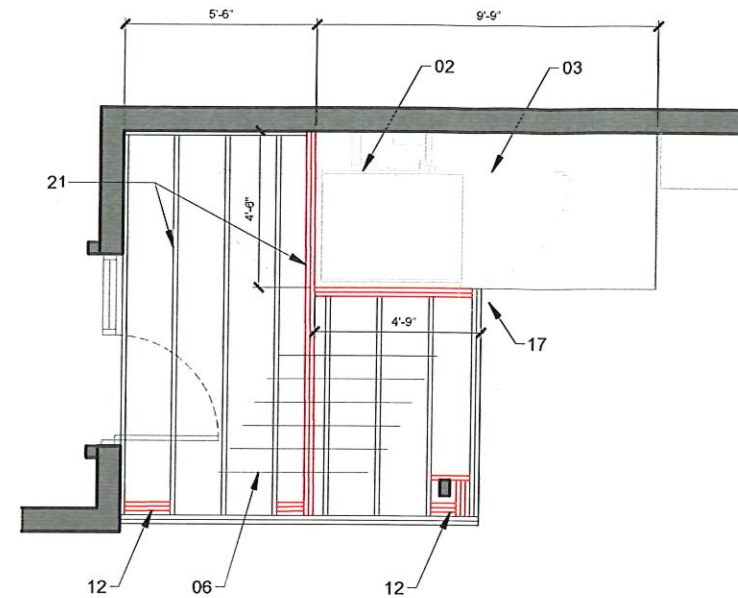
4/27/26

DRAWING
A0

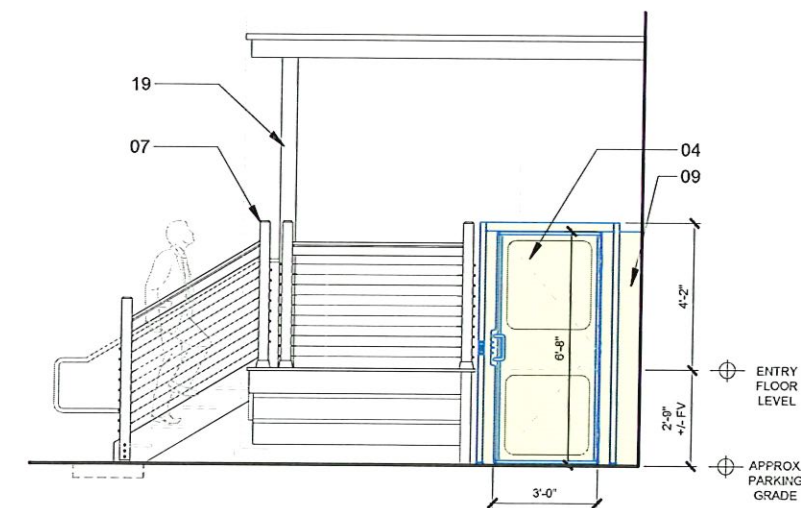
1/8" = 1'-0"



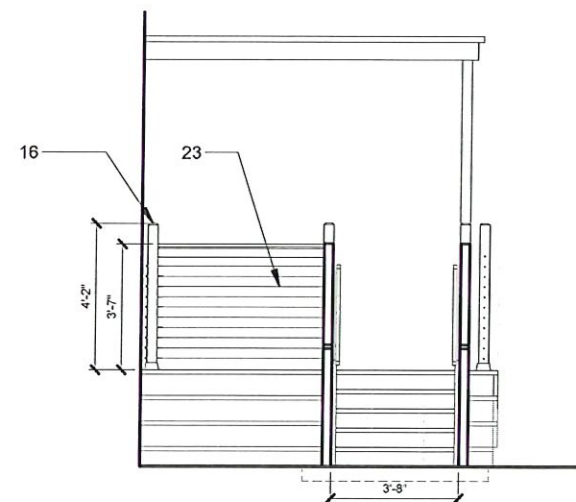
DETAIL A
FLOOR PLAN AT
NEW MAIN ENTRY



ELEVATION 2
STEPS / RAIL / LIFT AT
NEW MAIN ENTRY



ELEVATION 3
STEPS / RAIL / LIFT AT
NEW MAIN ENTRY



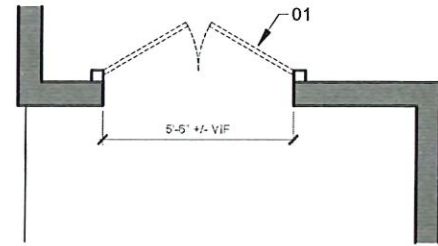
ELEVATION 1
STEPS / RAIL / LIFT AT
NEW MAIN ENTRY

NOTES:

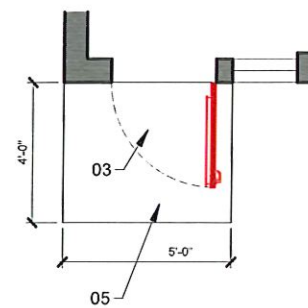
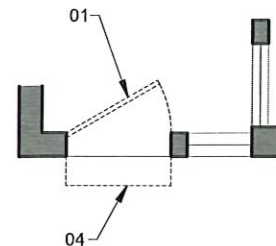
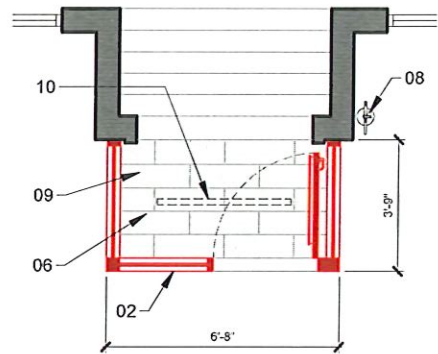
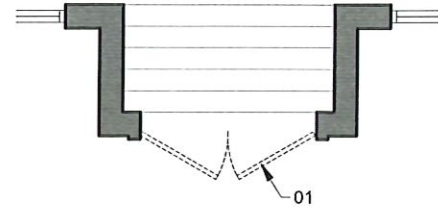
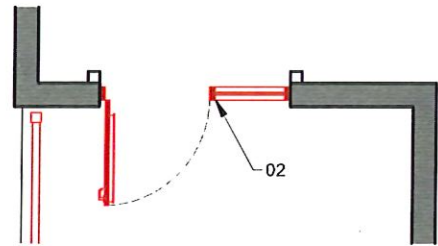
1. NEW VERTICAL PLATFORM LIFT STRAIGHT-THRU CONFIGURATION BY STAYINGHOME.COM OR APPROVED EQUAL. PLATFORM SIZE = 36X48 PLH-048 ~ COLOR - BLACK
2. FRAME NEW OPENING IN EXISTING UPPER PLATFORM TO ALLOW FOR NEW LIFT. ADJUST DIMS. BASED ON FINAL APPROVED PRODUCT
3. PROVIDE 4" CONCRETE PAD AT LIFT LOCATION - 3500 PSI PAD EXTENDS PAST HOISTWAY ON PARKING AREA SIDE
4. PROVIDE ADD. PRICING FOR LIFT ENCLOSURE FULL HEIGHT DOOR AT LOWER LEVEL
5. UPPER LIFT GATE DOOR
6. REMOVE ALL EXISTING 2X8 DECKING INSTALL NEW COMPOSITE DECKING 1 1/2 X 8 - DuxxBak Dekk - DRIFTWOOD OR APPROVED EQUAL
7. 4x4, PT GUARDRAIL POSTS WITH POST BASE ANCHOR
8. 2x4, PT MOULDED HANDRAIL W / 2x4 SUPPORT RAIL UNDER
9. PROVIDE REMOVEABLE PANEL TO SCREEN / PROTECT EQUIPMENT
10. REMOVE AREA OF CONCRETE CURB TO ALLOW FOR NEW WORK
11. PROVIDE CONCRETE PAD AT BOTTOM OF NEW STAIR
12. ADD SOLID BLOCKING FOR GUARDRAIL POSTS AS NEEDED
13. 5 EQUAL RISERS BASED ON FIELD VERIFIED HEIGHT 7" MAX TREAD HEIGHT, 11" TREAD DEPTH
14. PTD. METAL HANDRAIL WITH ADA EXTENSIONS AT TOP AND BOTTOM COMPOSITE DECKING AT STAIR TREADS AND RISERS
- 15.
16. POST HEIGHT TO MATCH LIFT GATE HEIGHT
17. ADD PT POST SUPPORT AND SONNA TUBE AT CORNER LOCATION
18. 2x12 PT STRINGERS WITH ANGLE SUPPORT FOR TREADS
19. EXISTING COLUMN TO REMAIN COORDINATE WORK AROUND EXISTING DOWNSPOUT
20. EXISTING FRAMING SHOWN IS ASSUMED. NEW FRAMING TO MATCH DEPTH
21. FASTEN GUARDRAIL TO COLUMN OR WALL IF NEEDED FOR ADDED STABILITY
22. STAINLESS STEEL CABLE RAILS AT 3.5" O.C.
23. EXISTING METAL THRESHOLD TO REMAIN
24. REMOVE LOOSE REMNANT CORNER GUARDS
- 25.

DRAWING
A1
3/16" = 1'-0"

DEMO PLANS

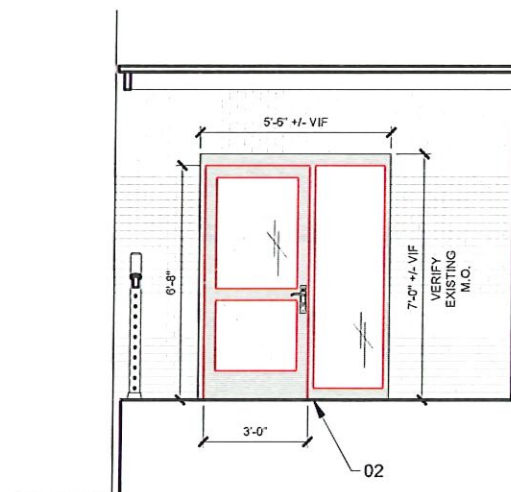


FLOOR PLANS



DETAIL B

STOREFRONT AT
NEW MAIN ENTRY

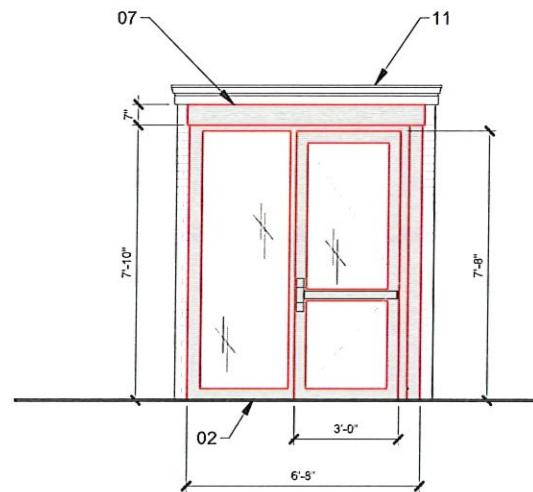


ELEVATION - OUTSIDE VIEW

STOREFRONT AT
NEW MAIN ENTRY

DETAIL C

STOREFRONT AT
CURRENT MAIN ENTRY

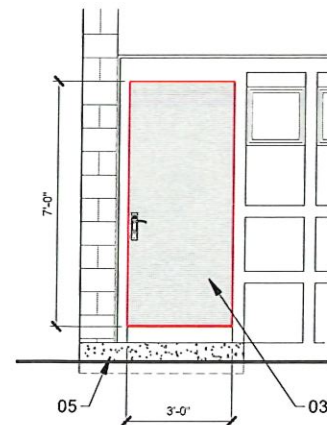


ELEVATION - INSIDE VIEW

STOREFRONT AT
CURRENT MAIN ENTRY

DETAIL D

HM DOOR AT
BACK ENTRY



ELEVATION - OUTSIDE VIEW

HM DOOR AT
BACK ENTRY

NOTES:

1. DEMO DOOR(S)
FRAME TO REMAIN
2. NEW STOREFRONT DOORS
AND SIDE LITES
SEE SPEC BELOW
3. NEW HOLLOW METAL
SLAB DOOR, INSULATED
PAINTED BLACK. W/ PANIC
EXIT DEVICE, WEATHER-
STRIPPING, CLOSER,
THRESHOLD.
4. DEMO WOOD STEP
5. CONCRETE LANDING
6. INSULATE FLOOR AREA,
INSTALL SLIP RESISTANT
PORCELAIN TILE FLOORING
7. LIGHT GAUGE, MTL. FRAMED CAP ON
TOP OF NEW STOREFRONT RECESS
AREA, INSULATED.
8. RELOCATE FIRE EXTINGUISHER
TO ALLOW FOR STOREFRONT
9. PROVIDE FIBER CEMENT CEILING
PANEL, PAINTED BLACK
10. 4' LONG LED LINEAR RECESSED
EXTERIOR GRADE LIGHT
11. EXISTING VESTIBULE DETAIL / TRIM

STOREFRONT SPEC:

KAWNEER 451
(2" X 4 1/2") CENTER GLAZE FRAMES

DOORS =
KAWNEER 350 MEDIUM STILE ENTRANCES
3.5" VERTICAL STILES AND TOP RAIL
10" BOTTOM RAIL AT ADA DOOR
3.5" BOTTOM RAIL AT STAIR DOOR

GLASS =
1" CLEAR INSULATING GLASS TEMPERED

CLOSER=
LCN 1460 SERIES

PUSH BAR=
PRECISION HARDWARE 2000 SERIES

LOCKSET AND LEVER HANDLE=
PRECISION HARDWARE 40H SERIES
HEAVY DUTY MORTISE LOCKSET WITH
ADA LEVER HANDLE

HINGES =
HEAVY DUTY STAINLESS BUTT HINGES
PEMCO or EQUAL

THRESHOLD=
KAWNEER ADA WITH DOOR SWEEP

COLOR FOR ALL STOREFRONT=
PERMACOAT SOLVENT-FREE FINISH
COLOR ~ BLACK

WEATHERSTRIPPING =
TRUDOR TD-PG PERIMETER GASKET
BLACK @ HEAD AND JAMBS

PROVIDE DOOR STOP

DRAWING
A2

3/16" = 1'-0"