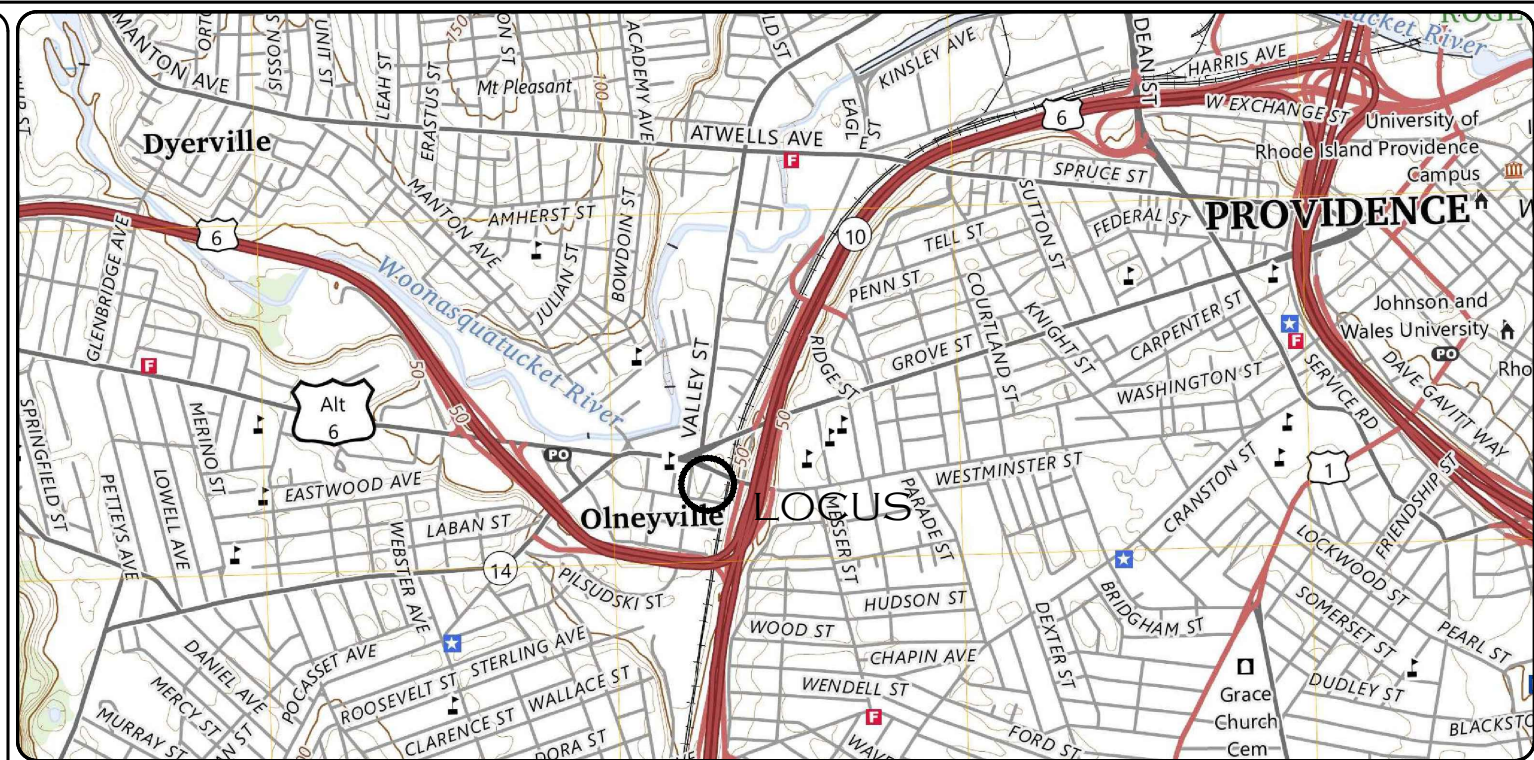


1\25\2025\07 31 Dike Street - Providence - Signatures\CADD\25-037 - ENGR Base - 001.dwg, 6/16/2025, 4:21:15 PM



- GENERAL NOTES:**
- LOT SHOWN ARE DESIGNATED AS LOTS 542 AND 329 ON PROVIDENCE ASSESSORS MAP 35
 - ZONING DISTRICT: COMMERCIAL C-2 - GENERAL COMMERCIAL DISTRICT
 - OWNER OF RECORD: - POSTAL KITCHEN LLC
11 ALEPPO STREET
PROVIDENCE, RI 02909
BOOK 13002 PAGE 230
 - SITE NOT LOCATED IN FEMA FLOOD ZONE AS SHOWN ON FIRM PANEL 44007C 0304 J EFFECTIVE ON OCTOBER 2, 2015.

DIMENSIONAL ZONING REQUIREMENTS:

Zoning Information	
Commercial C2 Zoning District - General Commercial District	
Zoning Item	Required
Minimum Lot Area	None
Minimum Lot Width	None
Maximum Building Height	50' / 4 Stories
Maximum Building Coverage	None
Maximum Total Impervious Surface	None
Front Yard Setback	Build-to Zone - 0' to 5'
Interior Side Setback	None
Corner Side Setback	Build-to Zone - 0' to 5'
Rear Setback	None
Parking	Exempt < 10,000 s.f.
Bicycle Parking	6 Total, 5 Covered

CERTIFICATION:

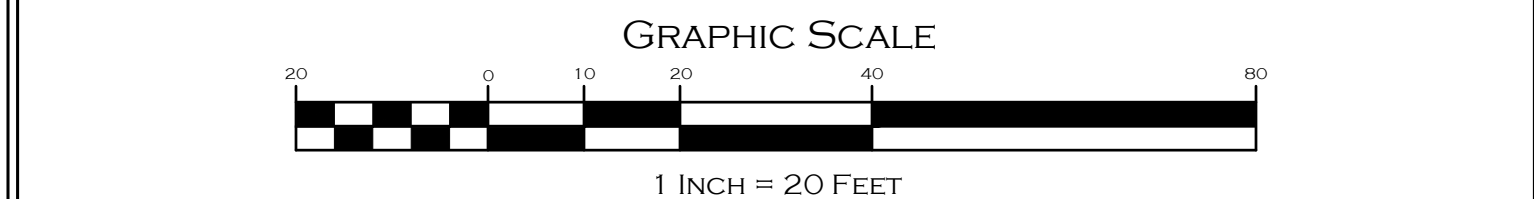
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015 AS FOLLOWS:

TYPE OF SURVEY: COMPREHENSIVE BOUNDARY MEASUREMENT SPECIFICATION: CLASS III
TYPE OF SURVEY: DATA ACCUMULATION SURVEY MEASUREMENT SPECIFICATION: CLASS III
VERTICAL MEASUREMENT SPECIFICATION: V-3 TOPOGRAPHIC ACCURACY CLASS: T-2

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR PREPARATION OF THE PLAT IS AS FOLLOWS:

- TO REPORT A PROFESSIONAL OPINION REGARDING THE LOCATION OF PROPERTY BOUNDARIES.
- TO DEPICT AND REPORT THE RELATIVE POSITIONS OF EXISTING PHYSICAL OBJECTS AND EXISTING SITE CONDITIONS.
- TO CREATE AN EXISTING CONDITIONS BASE PLAN FOR CONTEMPLATION OF DESIGNED CONSTRUCTION OR OTHER IMPROVEMENTS TO THE SITE.

Pat. A. Kelly
PATRICIA A. KELLY, PLS. REGISTERED PROFESSIONAL LAND SURVEYOR
RHODE ISLAND PLS NO: 1968 RHODE ISLAND C.O.A. NO.: LS.000AA68.COA
6.16.2026 DATE



EXISTING CONDITIONS PLAN

"31 DIKE STREET"
PROVIDENCE, RHODE ISLAND 02909
ASSESSORS MAP 35, LOTS 542 & 329

APPLICANT: POSTAL KITCHEN LLC
11 ALEPPO STREET, PROVIDENCE, RI 02909

JOB # 26-037 SCALE: 1" = 20' DRAWN BY: LJJ DATE: JUNE 16, 2026
REVISED:

INSITE Engineering Services, LLC
PROFESSIONAL ENGINEERS | LAND SURVEYORS
Precision. Clarity. Certainty.

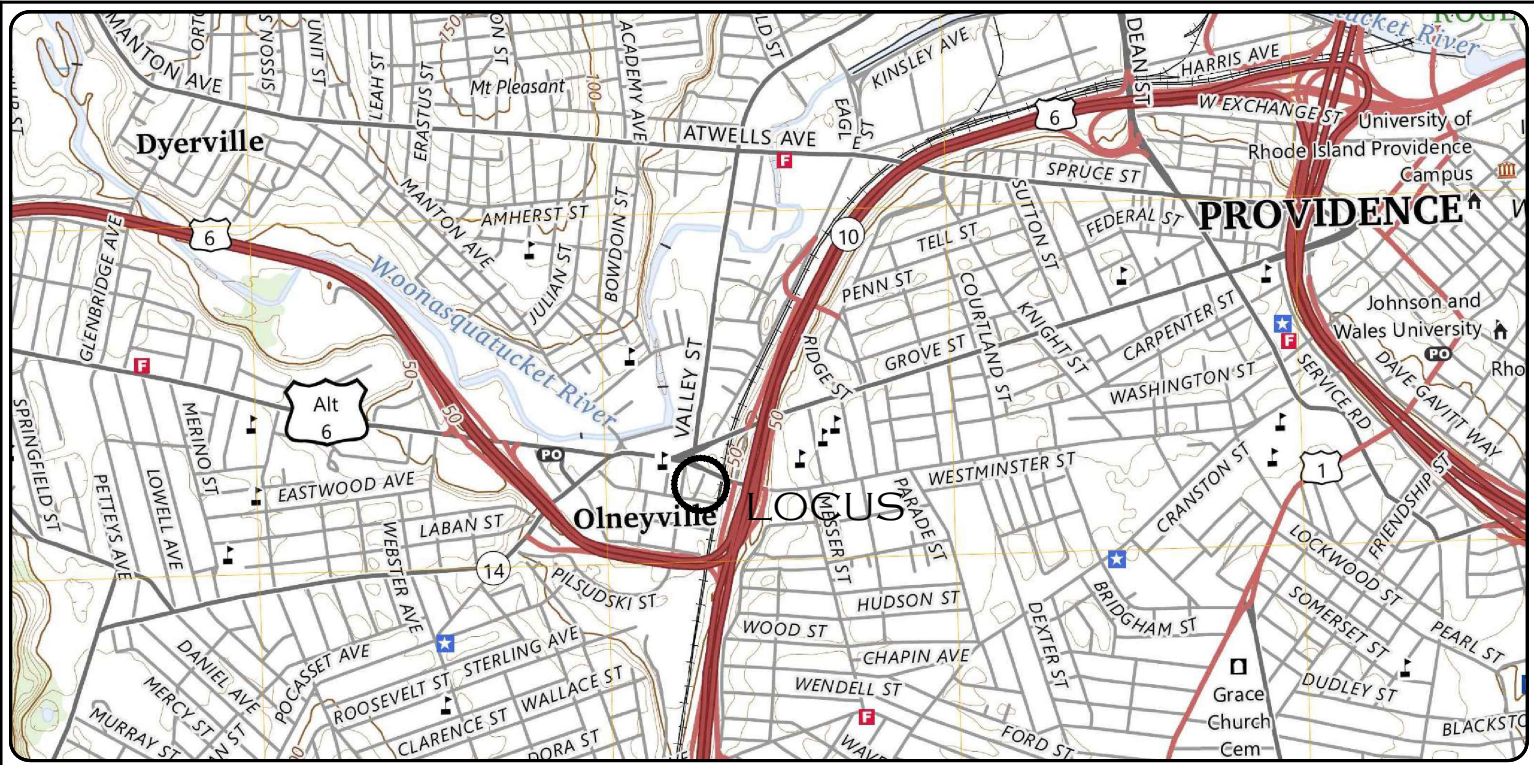
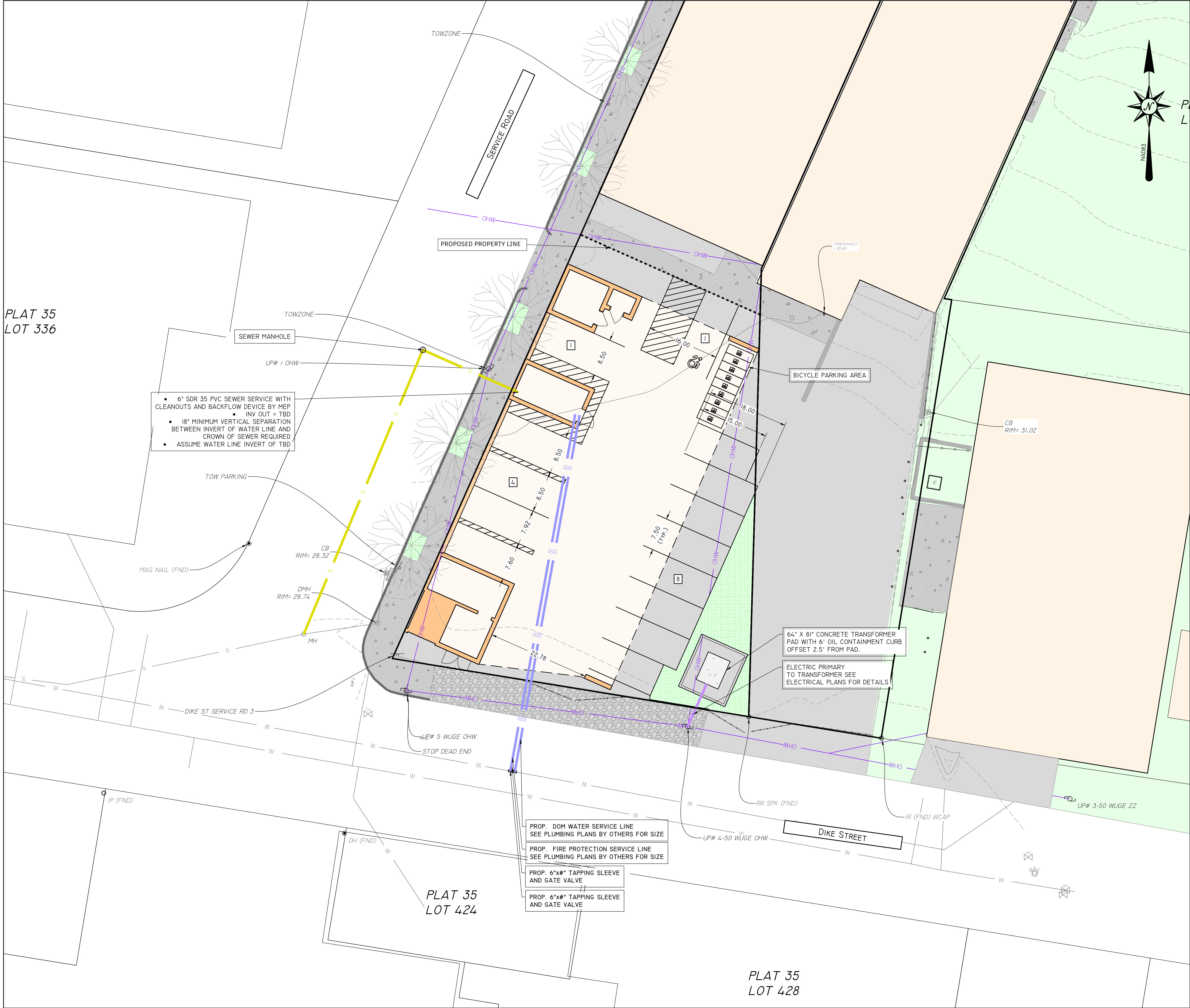
InSite Professional Complex, Suite 1
1539 Fall River Avenue, Seekonk, MA 02771
Phone: (508) 336-4500 Fax: (508) 336-4558
Web Address: InSiteEngineers.com

SHEET 1 OF 2

DIG SAFE NOTE:

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT (888)344-7233 ((888)DIG-SAFE).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

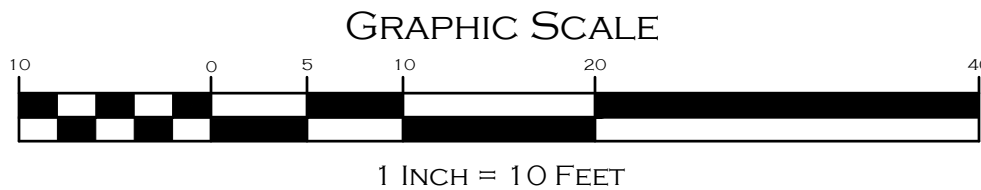


LOCATION (NOT TO SCALE) MAP

- GENERAL NOTES:**
- LOT SHOWN ARE DESIGNATED AS LOTS 542 AND 329 ON PROVIDENCE ASSESSORS MAP 35
 - ZONING DISTRICT: COMMERCIAL C-2 - GENERAL COMMERCIAL DISTRICT
 - OWNER OF RECORD: - POSTAL KITCHEN LLC
11 ALEPPO STREET
PROVIDENCE, RI 02909
BOOK 13002 PAGE 230
 - SITE NOT LOCATED IN FEMA FLOOD ZONE AS SHOWN ON FIRM PANEL 44007C 0304 J EFFECTIVE ON OCTOBER 2, 2015.

DIMENSIONAL ZONING REQUIREMENTS:

Zoning Information			
Commercial C-2 Zoning District - General Commercial District			
Zoning Item	Required	Proposed	Adjustment
Minimum Lot Area	None	T.B.D	N.A
Minimum Lot Width	None	130'	N.A
Maximum Building Height	50' / 4 Stories	65 Feet / 6 Stories	+15 Feet / 2 Stories
Maximum Building Coverage	None	100%	N.A
Maximum Total Impervious Surface	None	100%	N.A
Front Yard Setback	Build-to Zone - 0' to 5'	0'	N.A
Interior Side Setback	None	0'	N.A
Corner Side Setback	Build-to Zone - 0' to 5'	0'	N.A
Rear Setback	None	0'	N.A
Parking	Exempt < 10,000 s.f.	14	N.A
Bicycle Parking	6 Total, 5 Covered	9 Covered	N.A



SITE LAYOUT PLAN

PAUL D. CARLSON
No. 7142
REGISTERED PROFESSIONAL ENGINEER
CIVIL
PROFESSIONAL SEAL

"31 DIKE STREET"
PROVIDENCE, RHODE ISLAND 02903
ASSESSORS MAP 35, LOTS 542 & 329

APPLICANT: POSTAL KITCHEN LLC
11 ALEPPO STREET, PROVIDENCE, RI 02909

JOB # 26-037 SCALE: 1" = 10' DRAWN BY: LJJ DATE: JUNE 16, 2026

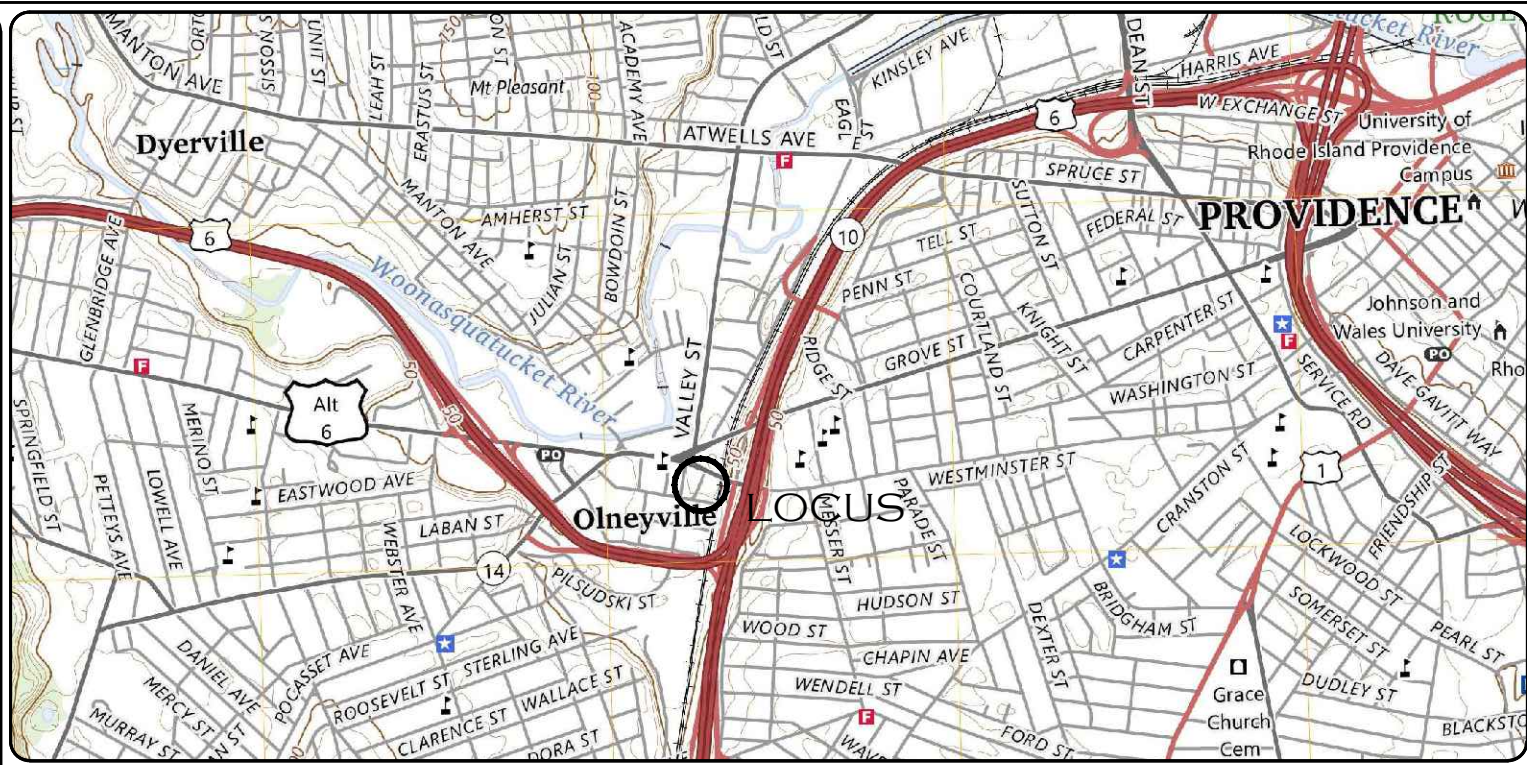
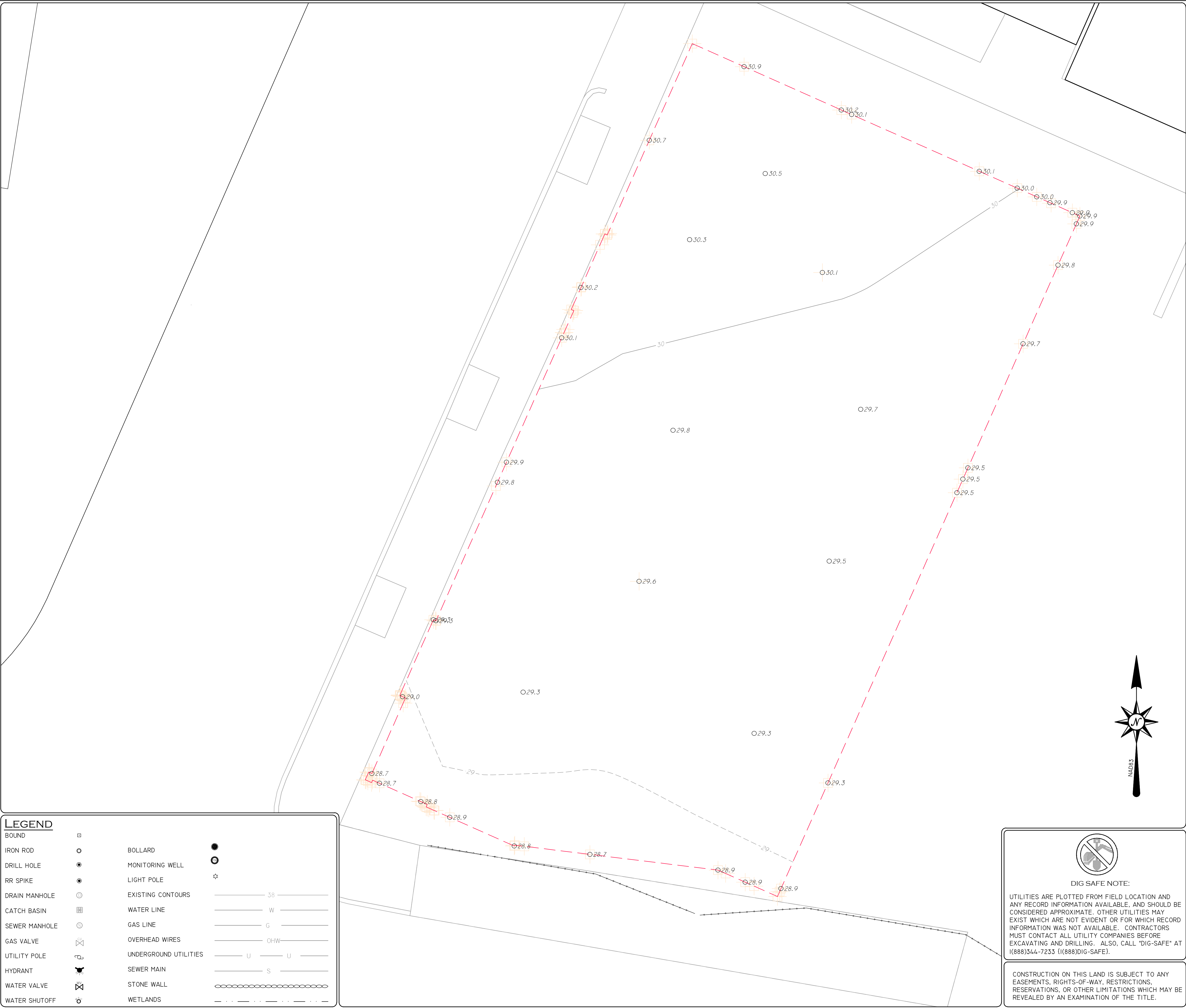
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1539 Fall River Avenue, Seekonk, MA 02771
Phone: (508) 336-4500 Fax: (508) 336-4558
Web Address: InSiteEngineers.com

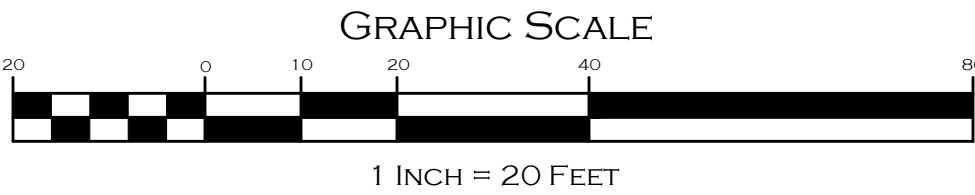
SHEET
2
OF 2

\\26-037 31 Dike Street - Providence - Signatures\CADD\26-037 - Building Height Calc.dwg, 6/16/2025 10:57:18 AM



EXISTING GRADE CALCULATION:

NUMBER OF POINTS	78
MINIMUM ELEVATION	28.61'
MAXIMUM ELEVATION	31.00'
MEAN ELEVATION	29.68'



LEGEND			
BOUND			
IRON ROD		BOLLARD	
DRILL HOLE		MONITORING WELL	
RR SPIKE		LIGHT POLE	
DRAIN MANHOLE		EXISTING CONTOURS	
CATCH BASIN		WATER LINE	
SEWER MANHOLE		GAS LINE	
GAS VALVE		OVERHEAD WIRES	
UTILITY POLE		UNDERGROUND UTILITIES	
HYDRANT		SEWER MAIN	
WATER VALVE		STONE WALL	
WATER SHUTOFF		WETLANDS	

DIG SAFE NOTE:

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT (888)344-7233 ((888)DIG-SAFE).

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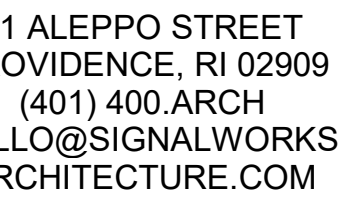
31 DIKE STREET
PROVIDENCE, RHODE ISLAND 02909
ASSESSORS MAP 35, LOTS 542 & 329

APPLICANT: POSTAL KITCHEN LLC
11 ALEPO STREET, PROVIDENCE, RI 02909

JOB # 26-037	SCALE: 1" = 20'	DRAWN BY: LJG	DATE: JUNE 15, 2026
-----------------	--------------------	------------------	------------------------

REVISED:

SHEET
1
OF 1



1 DIKE STREET,
PROVIDENCE, RI

06/15/20

ONS:

A0.2b

ECT NO: 25



4 TREES ADJACENT LOT 329 ARE MAPLE (ACER RUBRUM/SACCHARUM)
3 TREES ADJACENT LOT 542 ARE HONEY LOCUST (GLEDITSIA
TRIACANTHOS INERMIS)

PROJECT TITLE:
POST II

31 DIKE STREET,
PROVIDENCE, RI

PROJECT STATUS:
**DESIGN
DEVELOPMENT**

DATE: 06/15/2026

REVISIONS:

STAMP:

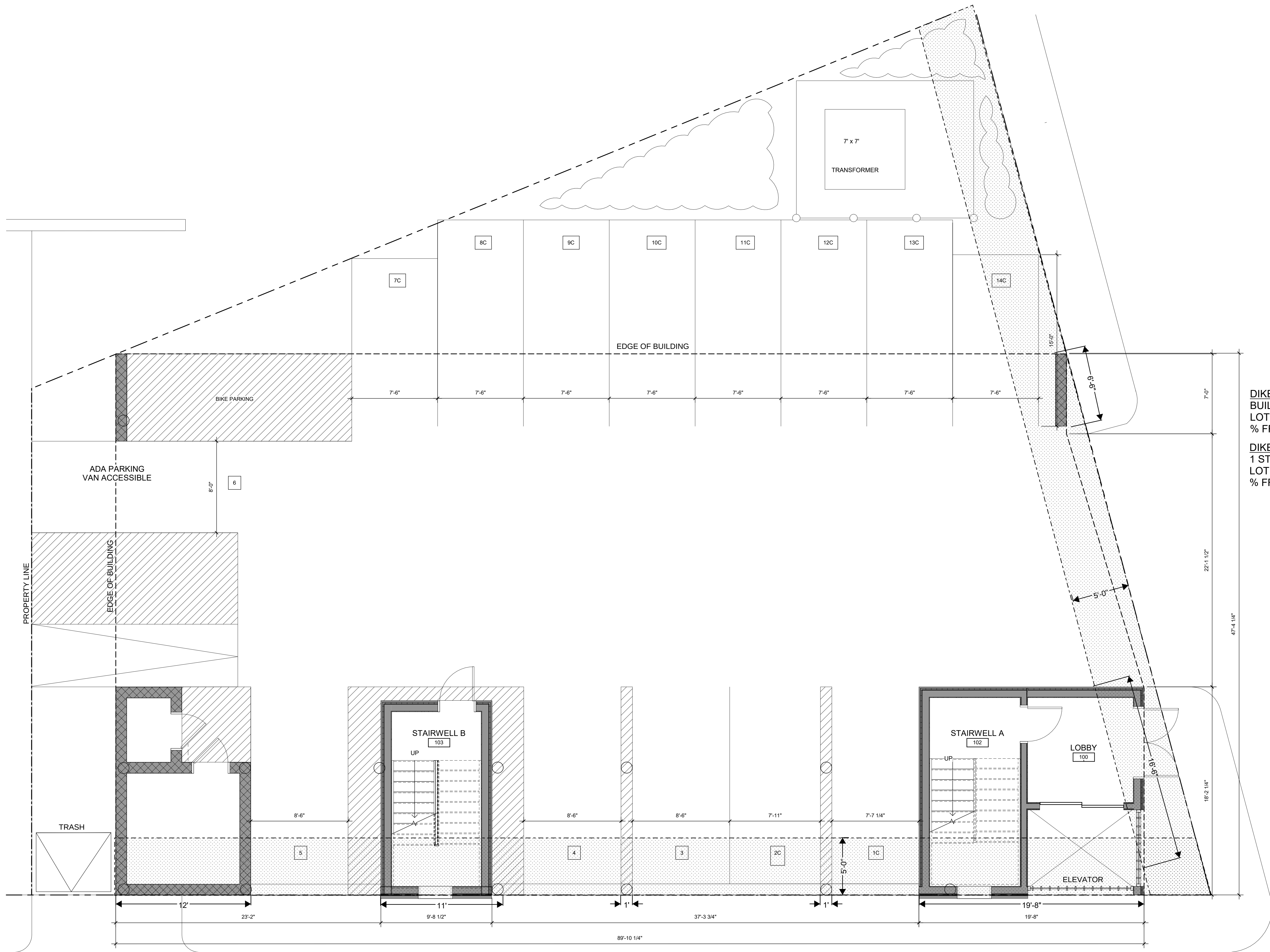
DRAWING TITLE:

**GROUND FLOOR
PLAN**

DRAWING NO.:

A1.1

PROJECT NO: 2514



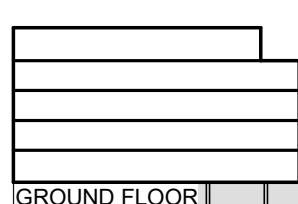
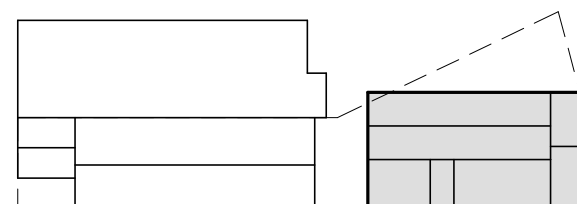
DIKE STREET FRONTAGE CALC
BUILDING: 47'
LOT: 81'
% FRONTAGE: 47/81 = 58%

DIKE STREET FRONTAGE CALC
1 ST FLOOR: 23'
LOT: 81'
% FRONTAGE: 22.5/81 = 28%

SERVICE ROAD FRONTAGE CALC
BUILDING: 88'-10"
LOT: 103'-6"
% FRONTAGE: 47/81 = 86%

SERVICE ROAD FRONTAGE CALC
1 ST FLOOR: 44'-8"
LOT: 103'-6"
% FRONTAGE: 22.5/81 = 43%

KEY PLAN:



1 FIRST FLOOR PLAN
1/4" = 1'-0"



**Signal
Works**

11 ALEPPO STREET
PROVIDENCE, RI 02909
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PROJECT TITLE:

POST II

31 DIKE STREET,
PROVIDENCE, RI

PROJECT STATUS:

DESIGN
DEVELOPMENT

DATE: 06/15/2026

REVISIONS:

STAMP:

DRAWING TITLE:

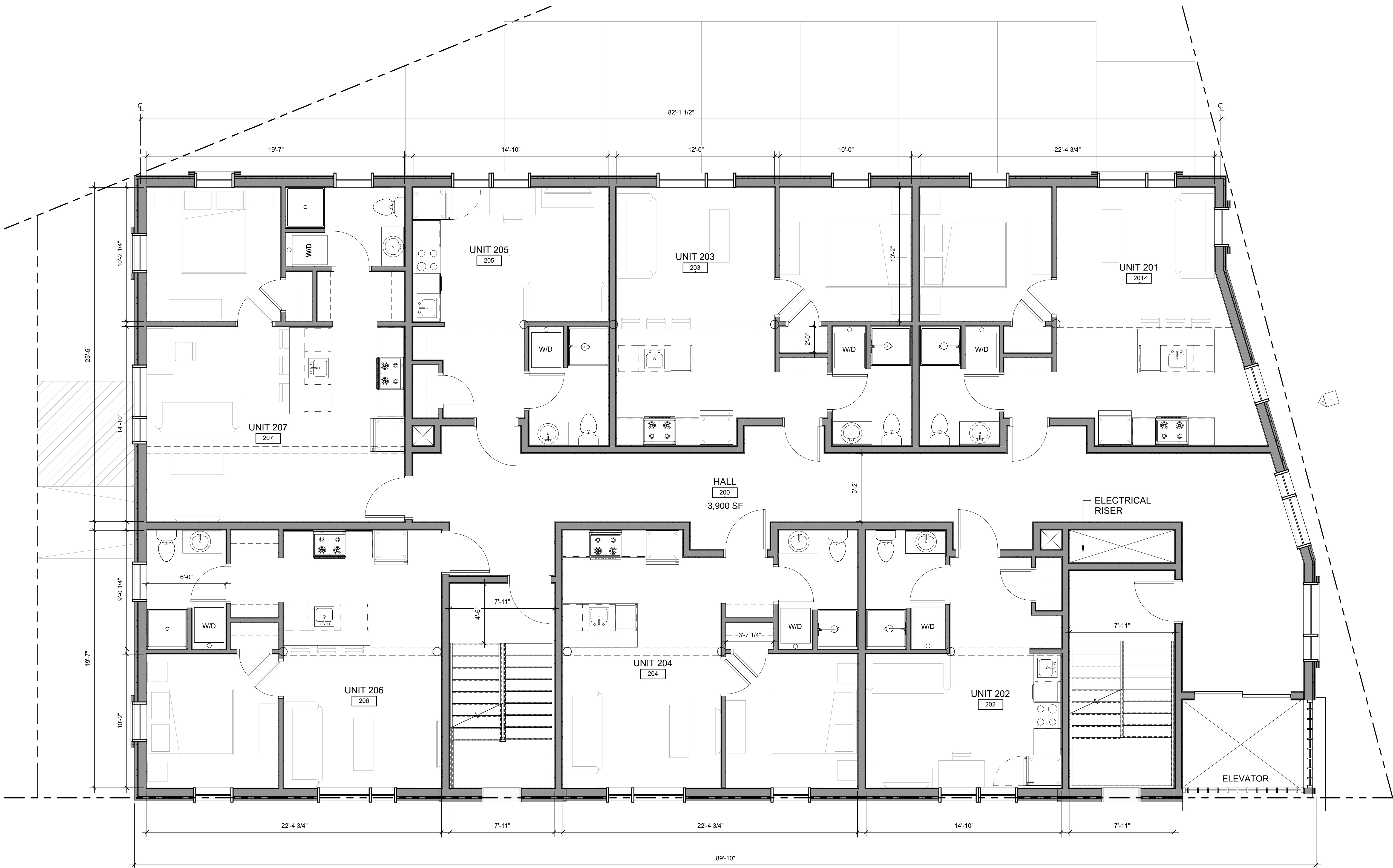
SECOND FLOOR
PLAN

DRAWING NO.:

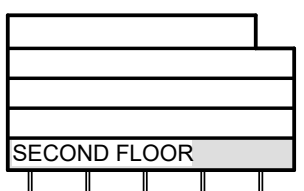
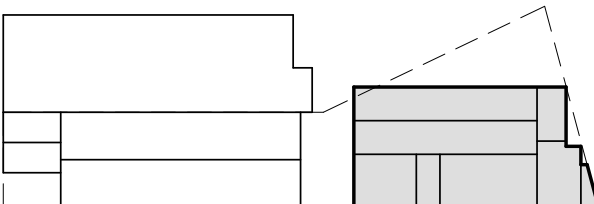
A1.2

PROJECT NO:

2514



KEY PLAN:



2 SECOND FLOOR PLAN
1/4" = 1'-0"



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REVISIONS:

STAMP:

DRAWING TITLE:

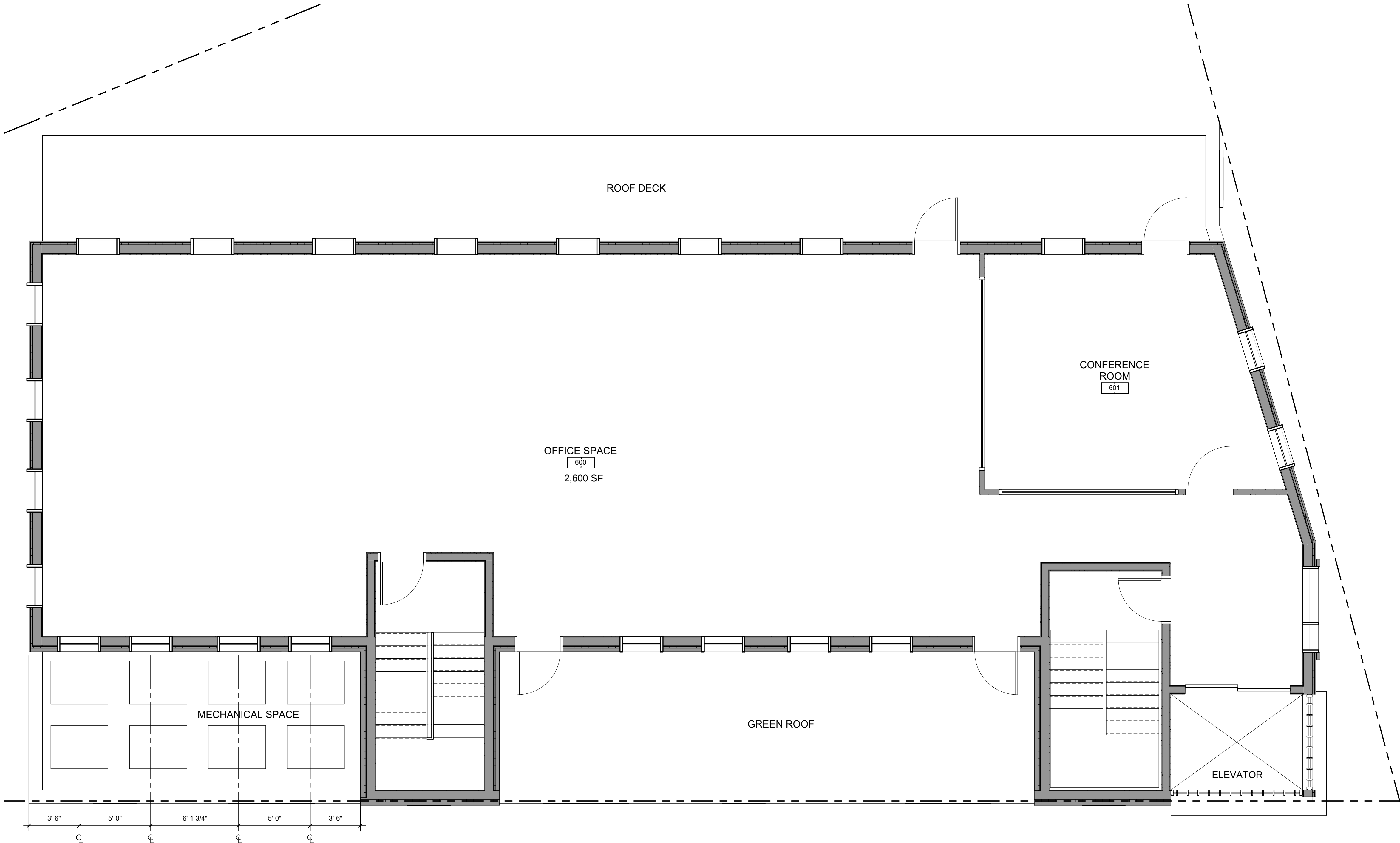
SIXTH FLOOR
PLAN

DRAWING NO.:

A1.4

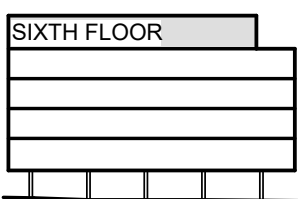
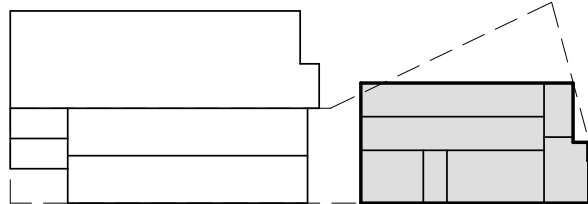
PROJECT NO:

2514



1 SIXTH FLOOR PLAN
1/4" = 1'-0"

KEY PLAN:





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PROJECT STATUS:
**DESIGN
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DATE: 06/15/2026

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STAMP:

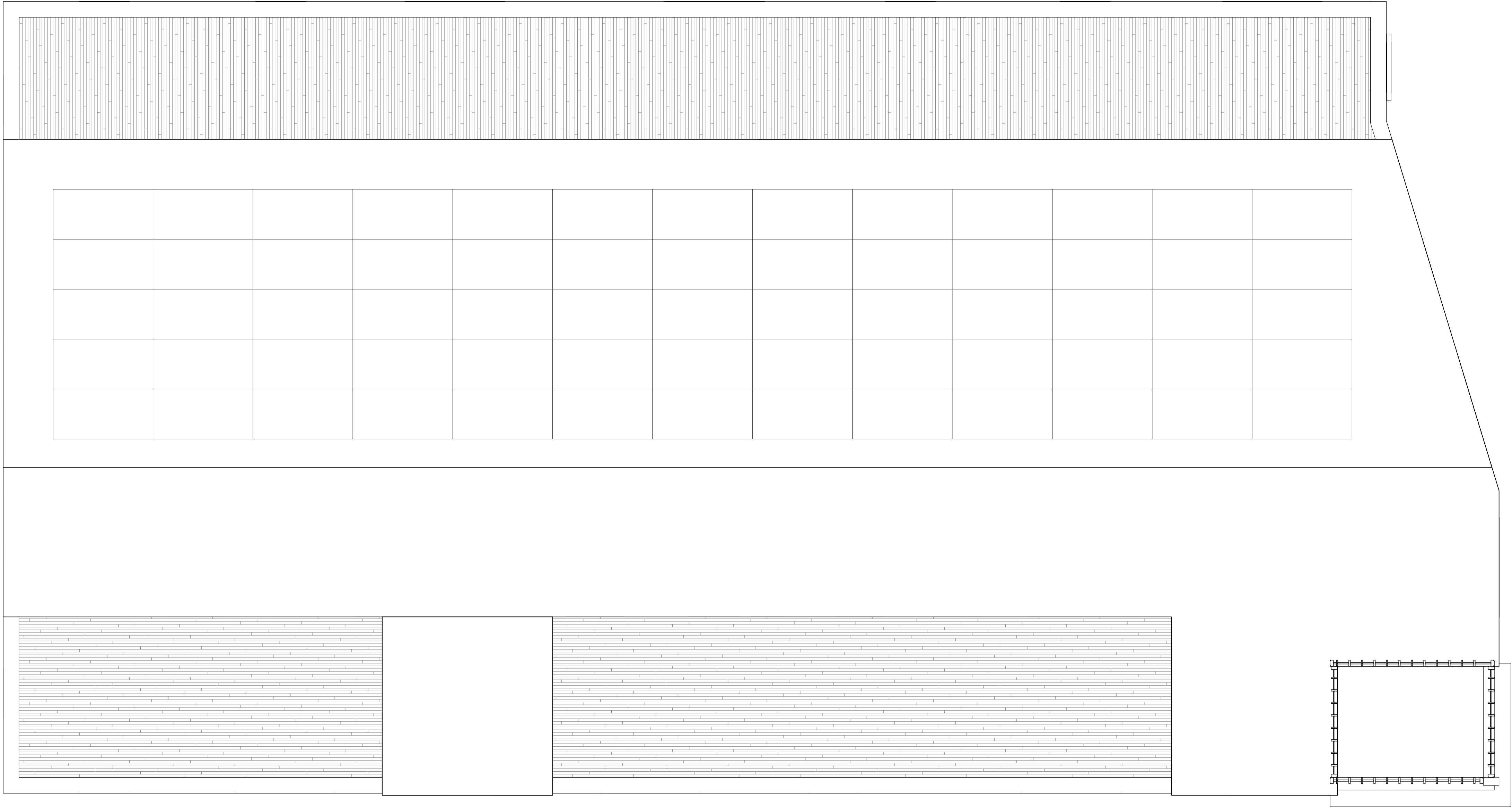
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ROOF PLAN

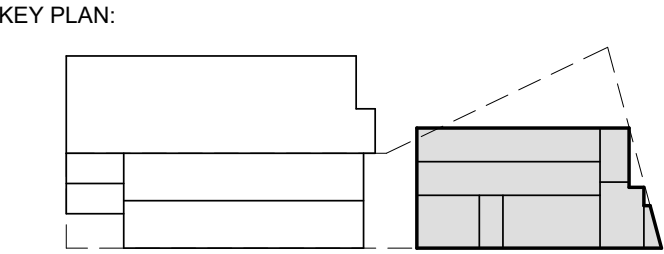
DRAWING NO.:

A1.5

PROJECT NO: 2514



1 ROOF
1/4" = 1'-0"





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DESIGN
DEVELOPMENT

DATE: 06/15/2026

REVISIONS:

STAMP:

DRAWING TITLE:

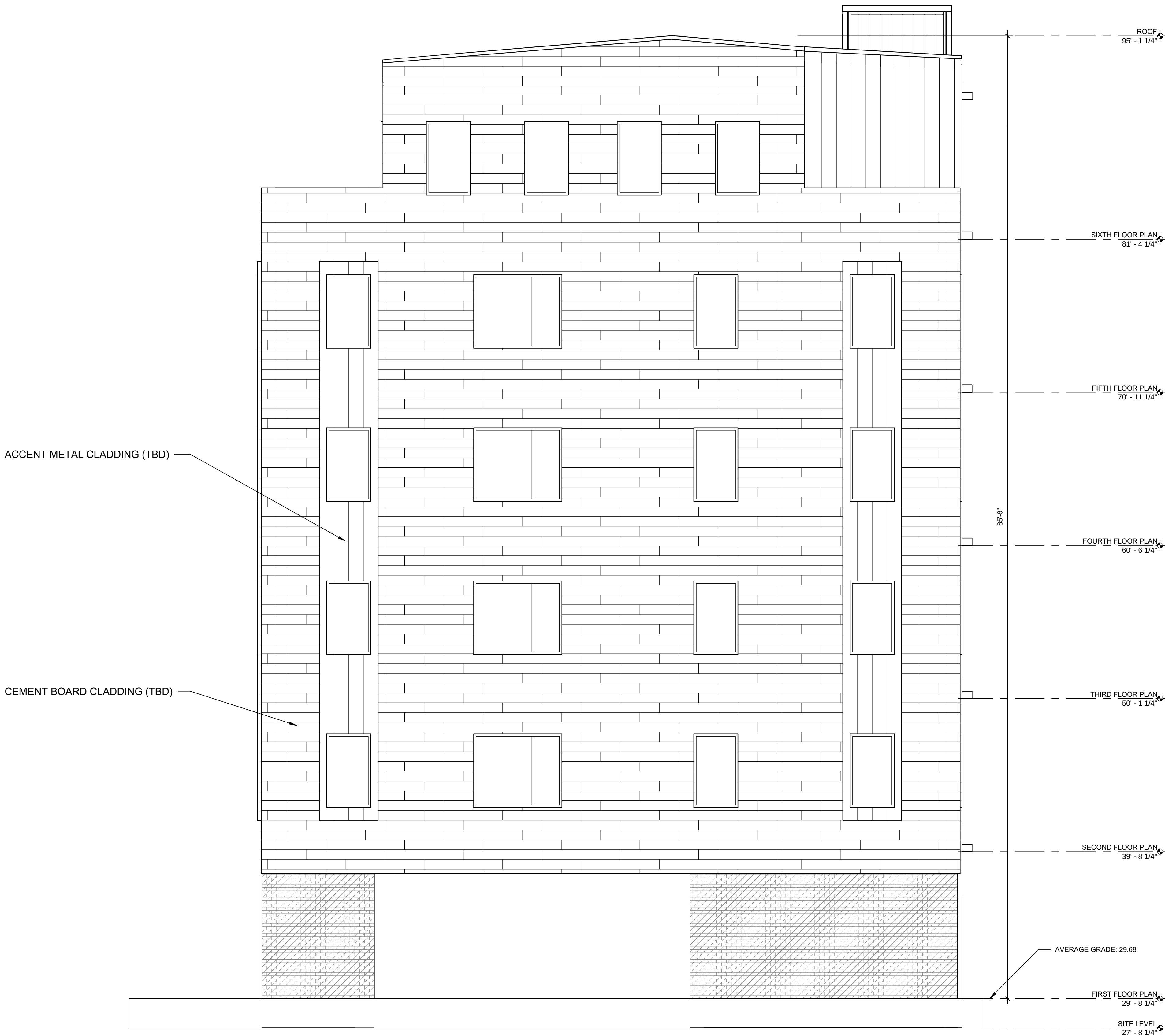
ELEVATIONS

DRAWING NO.:

A2.0

PROJECT NO:

2514



1 NORTH ELEVATION
1/4" = 1'-0"

OPENINGS ARE 15% OF FACADE



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PROJECT STATUS:

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DEVELOPMENT

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REVISIONS:

STAMP:

DRAWING TITLE:

ELEVATIONS

DRAWING NO.:

A2.1

PROJECT NO:

2514



1 SOUTH ELEVATION
1/4" = 1'-0"

OPENINGS ARE 15.9% OF FACADE



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PROJECT STATUS:

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DEVELOPMENT

DATE: 06/15/2026

REVISIONS:

STAMP:

DRAWING TITLE:

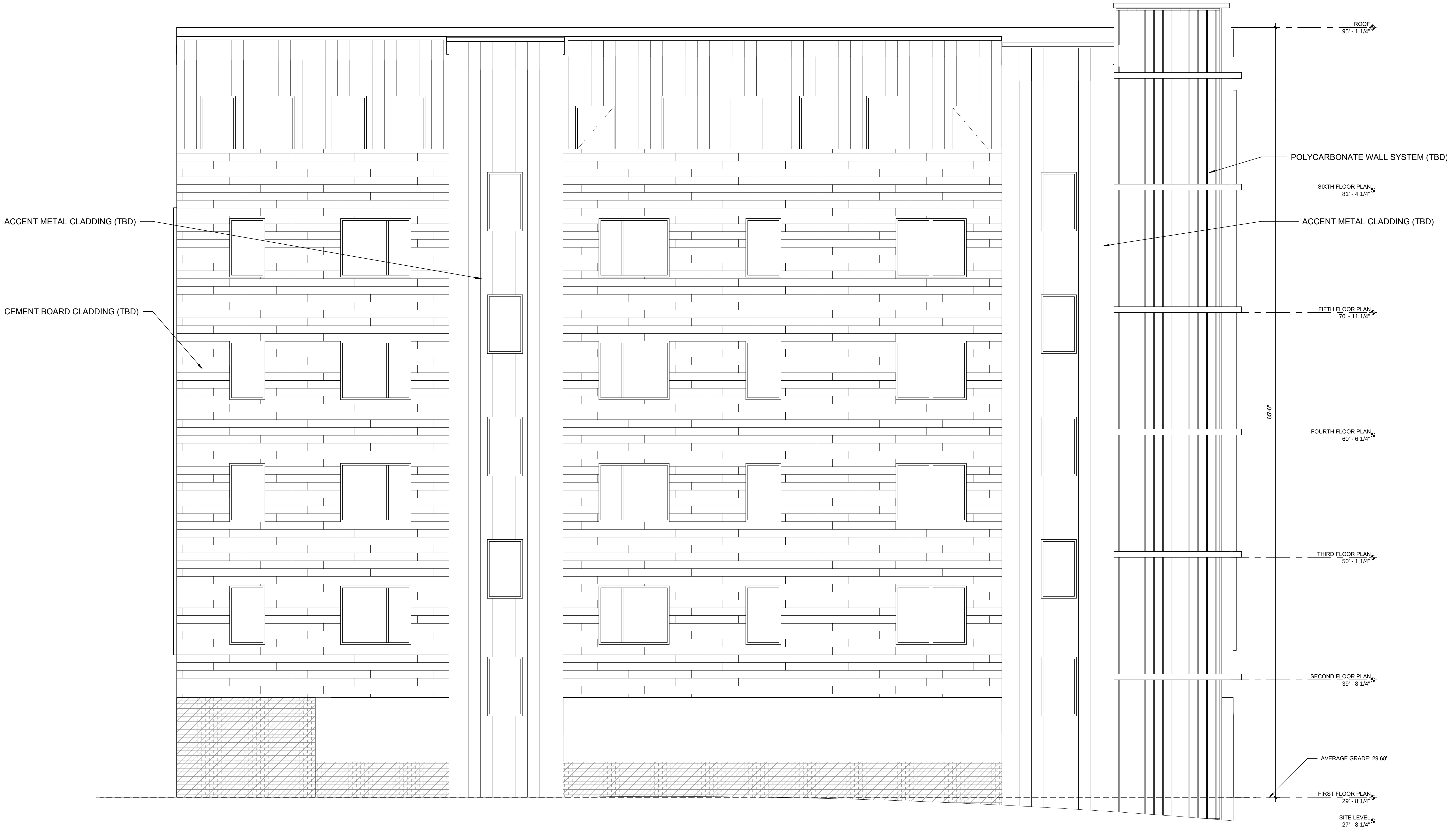
ELEVATIONS

DRAWING NO.:

A2.2

PROJECT NO:

2514





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PROJECT TITLE:
POST II

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PROVIDENCE, RI

PROJECT STATUS:
DESIGN
DEVELOPMENT

DATE: 06/15/2026

REVISIONS:

STAMP:

DRAWING TITLE:

ELEVATIONS

DRAWING NO.:

A2.3

PROJECT NO: 2514

POLYCARBONATE WALL SYSTEM (TBD)

ACCENT METAL CLADDING (TBD)

CEMENT BOARD CLADDING (TBD)

AVERAGE GRADE: 29.68'

1 EAST ELEVATION
1/4" = 1'-0"

OPENINGS ARE 15.3% OF FACADE

ROOF
95' - 1 1/4"

SIXTH FLOOR PLAN
81' - 4 1/4"

FIFTH FLOOR PLAN
70' - 11 1/4"

FOURTH FLOOR PLAN
60' - 6 1/4"

THIRD FLOOR PLAN
50' - 1 1/4"

SECOND FLOOR PLAN
39' - 8 1/4"

FIRST FLOOR PLAN
29' - 8 1/4"

SITE LEVEL
27' - 8 1/4"



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DATE: 06/15/2026

REVISIONS:

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DRAWING TITLE:

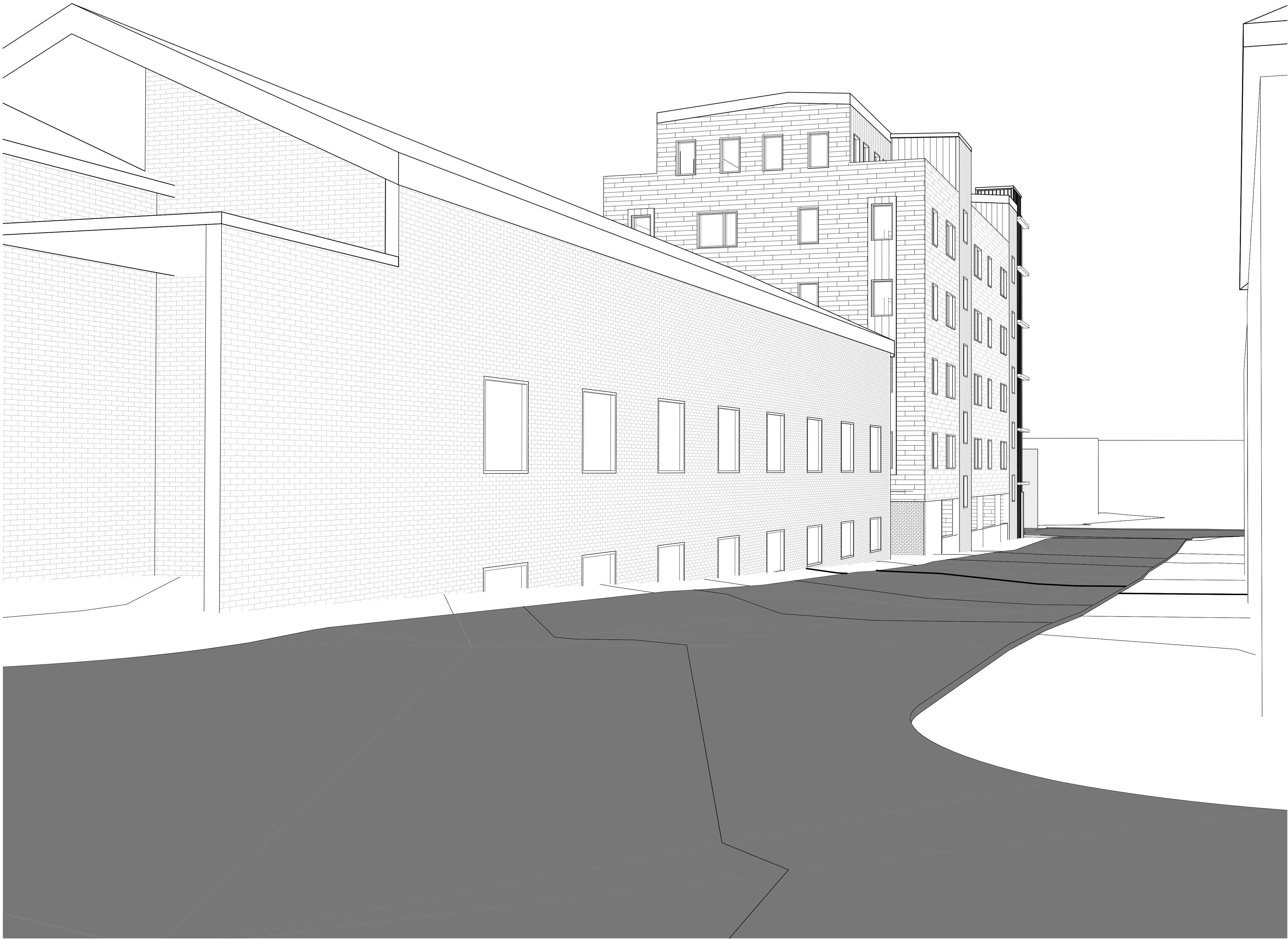
RENDERING

DRAWING NO.:

A7.2

PROJECT NO:

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DEVELOPMENT

DATE: 06/15/2026

REVISIONS:

STAMP:

DRAWING TITLE:

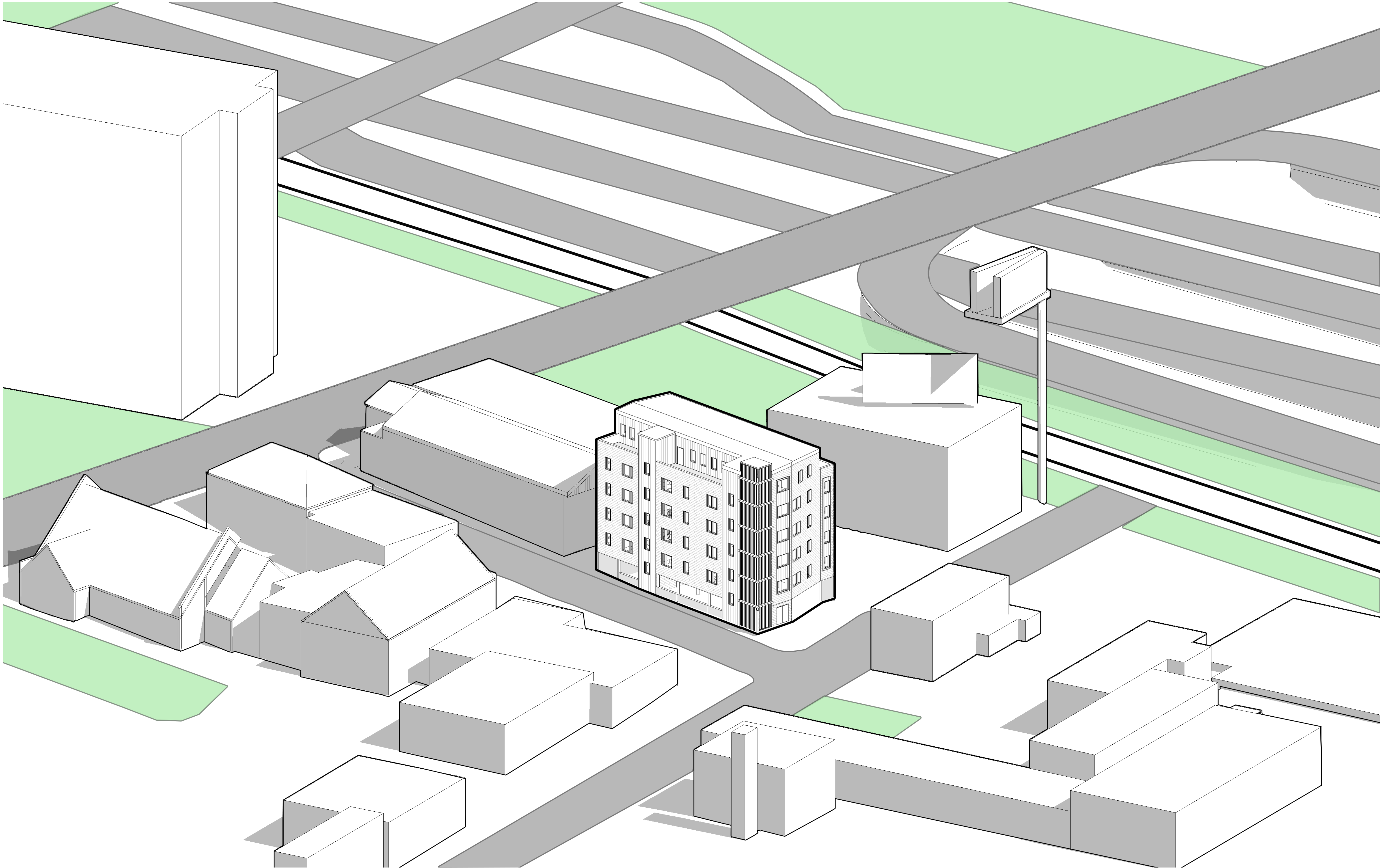
RENDERING

DRAWING NO.:

A7.3

PROJECT NO:

2514



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RENDERING

DRAWING NO.:

A7.2

PROJECT NO:

2514